



Regular City Council Meeting
Aledo Community Center, 104 Robinson Court, Aledo, Texas 76008
Thursday, April 2, 2026, at 6:00 PM

AGENDA

1. Call to Order

2. Invocation

3. Pledge of Allegiance

4. Citizen Appearances

This is an opportunity for citizens to address the City Council on any agenda item not listed for public hearing or any matter not posted on the agenda. This is the citizens' only opportunity to address the City Council on agenda items not listed for public hearing. Individual citizen comments are normally limited to 3 minutes; however, time limits can be adjusted by the presiding officer. Time is not transferable. The presiding officer may ask the citizen to hold their comment on an agenda item if the item is posted as a Public Hearing. The City Council cannot, by law, take any action or have any discussion or deliberations on any presentation made at this time concerning an item not listed on the agenda. The City Council may receive the information and ask the City Manager to review the matter, or an item may be noticed on a future agenda for deliberation or action. Please sign in before the start of the meeting and provide the paper to the City Secretary.

5. Presentations and Proclamations

a. Presentation of Proclamation to Freedom House of Parker County in recognition of Sexual Assault Awareness Month

b. Presentation of Proclamation for National Library Week (April 19–25, 2026)

6. Consent Agenda

All items listed below are considered routine by the City Council and will be enacted with one motion. There will be no separate discussion of items unless a Council Member requests, in which event the item will be removed from the general order of business and considered in its normal sequence. Approval of the Consent Agenda authorizes the City Manager to implement each item in accordance with staff recommendations.

a. Approve March 5, 2026 Regular City Council Meeting minutes

b. Approve Resolution No. 2026-R-07 adopting a revised Design Standards Manual

c. Approve Resolution No. 2026-R-08 adopting a Park and Facility Naming Policy

d. Approve cancellation of April 16, 2026 Regular City Council Meeting

7. Public Hearings

a. PUBLIC HEARING: Consider Ordinance No. 2026-O-15 regarding a change in zoning from an interim classification of (AG) Agricultural to (C-3) Regional Commercial for the property located at 2 Dean Drive, Aledo, TX, 76008, located along Dean Drive and south of the intersection of Dean Drive and Bankhead Highway, being Block 1, Lots 2R1, 2R2, 2R3, 2R4, 2R5, 5.23 acres out of the Mid-Park Business Community

b. PUBLIC HEARING: Consider Ordinance No. 2026-O-16 amending the FY 2025-2026 Municipal Fee Schedule to include revised Community Center Fees

8. Regular Agenda

- a. Consider awarding a contract for construction services for the Green Ribbon Landscape Improvements Project to Central North Construction in the amount of \$714,971
- b. Consider Project Order Number 2026-01 with Kimley-Horn and Associates, Inc. to provide professional construction phase services for the Green Ribbon Landscape Improvements Project in the amount of \$107,000

9. Department Reports

- a. Police Department Quarterly Report

10. Executive Session

In compliance with the Texas Open Meetings Act, Chapter 551 of the Texas Government Code, the City Council may convene in executive session to deliberate regarding the following matters:

- a. **Section 551.071 – Consultation with Attorney.**To conduct a private consultation with the City Attorney on any legally posted agenda item, when the City Council seeks the advice of its attorney about pending or contemplated litigation, a settlement offer, or on a matter in which the duty of the attorney to the governmental body under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with the provisions of Chapter 551, to include:
 - i. Dean Ranch Development Conversation
 - ii. Grand Prairie v. State
 - iii. Aledo and Fort Worth vs. Willow Park
 - iv. Library Agreement with Parker County
- b. **Section 551.087 – Deliberation Regarding Economic Development Negotiations.**The City Council may convene in executive session to discuss or deliberate regarding commercial or financial information that the City has received from a business prospect that the City seeks to have locate, stay, or expand in or near the City and with which the City is conducting economic development negotiations; or to deliberate the offer of a financial or other incentive to a business prospect described above, including the following items:
 - i. Dean Ranch Development Conversation
 - ii. Downtown Development
 - iii. Your Personal Chef Rebate Infrastructure Agreement

11. Action Taken on Items Discussed in Executive Session, if Necessary

12. Mayor and Councilmember Comments

In compliance with the Texas Open Meetings Act, Council members may comment on routine city matters, ask questions of staff that require only responses of factual information or statements of existing City policy, or may request that non-routine matters of public concern be placed on a future agenda. Council members may not discuss non-agenda items among themselves.

13. City Manager Comments

14. Adjourn

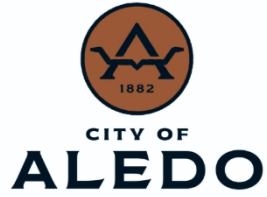
Note: The Aledo City Council may vote or take action on any of the listed agenda items and may convene into Executive Session on any matter related to any of the above agenda items for a purpose, such closed session is allowed under Chapter 551, Texas Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. In accordance with the Americans with Disabilities Act, persons who need additional accommodations to attend or participate in the meeting should contact the City Secretary's office at (817) 441-7016 at least 48 hours prior to the meeting to request such assistance.

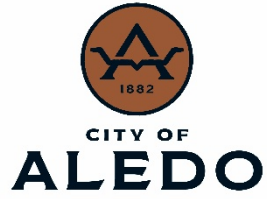
CERTIFICATION

I, Staci L. King, City Secretary, do hereby certify that this NOTICE OF MEETING was posted in accordance with the regulations of the Texas Open Meetings Act, in a place convenient and readily accessible to the general public, and was also posted to the City's website at www.aledotx.gov, and said notice remained posted for at least two hours after the meeting was convened.

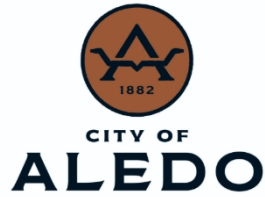
Staci L. King, TRMC, CMC
City Secretary



Date: April 2, 2026
To: City Council
From: Staci L. King, City Secretary
Subject: Presentation of Proclamation to Freedom House of Parker County in recognition of Sexual Assault Awareness Month



Date: April 2, 2026
To: City Council
From: Staci L. King, City Secretary
Subject: Presentation of Proclamation for National Library Week - April 19–25, 2026



Date: April 2, 2026
To: City Council
From: Staci King, City Secretary
Subject: Approve March 5, 2026 Regular City Council Meeting minutes

Summary:

Attached are the minutes for the March 5, 2026 Regular City Council Meeting.

Recommendation:

Approve as presented.

Attachments:

1. 2026.03.05 Minutes



Regular City Council Meeting
Thursday, March 5, 2026, at 6:00 PM

Minutes

The Aledo City Council convened on Thursday, March 5, 2026, at 06:00 PM, in the Aledo Council Chambers | Aledo Municipal Complex, 200 Old Annetta Road, Aledo, Texas, for the purpose of a Regular Meeting, with the meeting being open to the public and notice of said meeting having been posted as prescribed by Chapter 551, Texas Government Code, with the following members being present:

Council Present Mayor Shane Davis
 Councilmember / Mayor Pro Tem Shawna Ford
 Councilmember Todd Covington
 Councilmember Summer Jones

Council Absent Councilmember Ben Clark

Staff Present Candice Edmondson, City Manager
 Staci L. King, City Secretary
 Alicia K. Kreh, City Attorney

1. Call to Order

Mayor Shane Davis called the meeting to order at 06:00 PM.

2. Invocation

Councilwoman Summer Jones led the invocation.

3. Pledge of Allegiance

Mayor Shane Davis led the Pledge of Allegiance to the United States flag.

4. Citizen Appearances

No one came forward to address the Council.

5. Presentations

a. Presentation of revised Design Standards Manual

Dylan Swoboda, Kimley-Horn, presented the revised Design Standards Manual to the Council. The updated Manual reflects current engineering design practices for water, sanitary sewer, street, and storm drainage infrastructure and incorporates new construction details. The document has also been revised to align, where appropriate, with the City's Unified Development Code. Key updates to the Manual include:

- Establishes requirements for traffic impact studies, including a threshold analysis worksheet.
- Clarification of downstream storm drainage assessment and calculation requirements.
- Updates to water and sanitary sewer standards, including minimum pipe sizes and material requirements.
- Addition of a new section establishing easement requirements.

This item is for presentation and discussion only. Staff will revise the document as appropriate based on Council feedback and return a final version for adoption on April 2, 2026.

6. Consent Agenda

- a. **Approve February 19, 2026 Regular City Council Meeting minutes**
- b. **Accept Certification of Unopposed Candidates and approve Ordinance No. 2026-O-11 cancelling the May 2, 2026 General Election**

MOTION by Shawna Ford, second by Summer Jones, to approve as presented. MOTION PASSED by unanimous vote.

7. Items Requiring Public Hearing

- a. **PUBLIC HEARING regarding proposed amendments to Article 4, Signage, Table 1 Schedule for Permanent Signs, of the City of Aledo Unified Development Code (UDC) pertaining to the maximum area and number of placards allowed for Historic Decorative Pole Signs, and to establish criteria for approval of Specific Use Permit (SUP) for Monument Signs in the Downtown (DT) zoning district.**

Grant Fore, Senior Planner, Berkley Group, presented the item to Council. The Planning and Zoning Commission met on February 12, 2026, and voted unanimously to recommend approval of this proposed amendment.

Mayor Davis opened the public hearing at 6:20. No one came forward to speak in favor of or opposition to the amendment. Mayor Davis closed the public hearing.

- b. **Consider approval of a Ordinance No. 2026-O-12 amending the City of Aledo Unified Development Code (UDC), Article 4 Signage, Table 1 Schedule for Permanent Signs, pertaining to the maximum area and number of placards allowed for Historic Decorative Pole Signs, and to establish criteria for approval of Specific Use Permit (SUP) for Monument Signs in the Downtown (DT) zoning district.**

MOTION by Shawna Ford, second by Summer Jones, to approve Ordinance No. 2026-O-12 amending the City of Aledo UDC as it pertains to signage. MOTION PASSED by unanimous vote.

- c. **PUBLIC HEARING regarding proposed amendments to Article 6, Definitions, of the City of Aledo Unified Development Code (UDC), to establish definitions of: Adult Store, Cash Advance Establishment, Pawn Shop and Vape/CBD Shop.**

Grant Fore, Senior Planner, Berkley Group, presented the item to Council. There have been ongoing discussions related to the following uses: Adult Store, Vape/CBD Shop, Cash Advance Establishment, and Pawn Shop. Previously, the uses were not clearly defined in the City's UDC. The Planning and Zoning Commission met on February 12, 2026, and voted unanimously to recommend approval of this proposed amendment.

Mayor Davis opened the public hearing at 6:26 p.m. No one came forward to speak in favor of or opposition to the proposed definitions. Mayor Davis closed the public hearing.

d. Consider approval of Ordinance No. 2026-O-13 amending the City of Aledo Unified Development Code (UDC), Article 6, Definitions, to establish definitions for Adult Store, Cash Advance Establishment, Pawn Shop and Vape/CBD Shop.

MOTION by Shawna Ford, second by Summer Jones, to approve Ordinance No. 2026-O-13 amending the City of Aledo UDC as it pertains to definitions. MOTION PASSED by unanimous vote.

8. Regular Agenda

a. Consider approval of Ordinance No. 2026-O-14 amending Article III, "Boards and Commissions," of Chapter 2, "Administration," of the Code of Ordinances, City of Aledo, Texas, by creating a Library Board and providing for their term of offices, duties, and responsibilities

Erika Cooper-Bateman presented the item to Council. This ordinance creates a Library Board that advises the City Council on library planning, programming, policies, and long-term needs. Working alongside the Library Director, the Board helps guide strategic, operational, and community-focused goals for the library, with Council retaining all final decision-making authority.

Councilwoman Shawna Ford recommended that board members be library patrons for at least one year; Councilman Todd Covington raised concerns over the board's duties and member composition.

MOTION by Shawna Ford, second by Todd Covington, to approve Ordinance No. 2026-O-14 creating a Library Advisory Board with the following amendments:

- Members must be current library card holders.
- A minimum of four regular members must be City of Aledo residents.
- One member may be a non-resident if they currently have a child enrolled and attending Aledo ISD.
- One alternate member may be a non-resident if they currently have a child enrolled and attending Aledo ISD.

MOTION PASSED by unanimous vote.

b. Discuss proposed Park and Facility Naming Policy

Candice Edmondson, City Manager, presented the proposed policy to Council. Ms. Edmondson requested that Council contact her with any concerns or additions prior to the

April Council Meeting, at which time the policy would be brought back to Council for approval. No action taken.

9. Staff Presentations

There were no staff presentations.

10. Executive Session

In compliance with the Texas Open Meetings Act, Chapter 551 of the Texas Government Code, the City Council may convene in executive session to deliberate regarding the following matters:

a. Section 551.071 – Consultation with Attorney.To conduct a private consultation with the City Attorney on any legally posted agenda item, when the City Council seeks the advice of its attorney about pending or contemplated litigation, a settlement offer, or on a matter in which the duty of the attorney to the governmental body under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with the provisions of Chapter 551, to include:

i. Dean Ranch Development Conversation

ii. Grand Prairie v. State

iii. Aledo and Fort Worth vs. Willow Park

b. Section 551.087 – Deliberation Regarding Economic Development Negotiations.The City Council may convene in executive session to discuss or deliberate regarding commercial or financial information that the City has received from a business prospect that the City seeks to have locate, stay, or expand in or near the City and with which the City is conducting economic development negotiations; or to deliberate the offer of a financial or other incentive to a business prospect described above, including the following items:

i. Dean Ranch Development Conversation

ii. Downtown Development

Mayor Davis recessed the meeting into Executive Session at 7:14 p.m.

11. Adjourn Executive Session and Reconvene Into Open Session

Mayor Davis called the meeting back to regular session at 7:35 p.m.

12. Action Taken on Items Discussed in Executive Session, if Necessary

No action was taken.

13. Mayor and Councilmember Comments

14. City Manager Comments

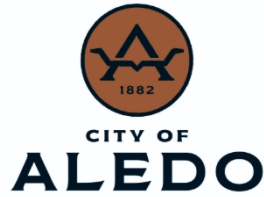
15. Adjourn

The meeting was adjourned at 7:35 p.m.

Shane Davis, Mayor

ATTEST:

Staci L. King, City Secretary



Date: April 2, 2026
To: City Council
From: Candice Edmondson, City Manager
Subject: Approve Resolution No. 2026-R-07 adopting a revised Design Standards Manual

Summary:

On March 5, 2026, consultants from Kimley-Horn presented the updated Design Standards Manual to City Council for discussion. Council reviewed the proposed revisions and did not request any changes. Following the meeting, Kimley-Horn made one minor revision to Traffic Plans - Section 3.H.ii by removing the sentence: *“Generally, a driveway should have a minimum spacing of 300 feet along major thoroughfares, 200 feet along minor thoroughfares, and 100 feet along local roads.”* This requirement is already included in the City’s Unified Development Code and was removed from the Design Standards Manual to eliminate redundancy.

The updated Manual reflects current engineering design practices for water, sanitary sewer, street, and storm drainage infrastructure and incorporates updated construction details. The document has also been revised, where appropriate, to align with the City’s Unified Development Code.

Throughout the update process, Kimley-Horn worked closely with City staff and the development community to ensure the Manual reflects the City’s operational needs and long-term infrastructure standards. Feedback from stakeholders was incorporated into the final version of the Manual.

Key updates include:

- Requirements for traffic impact studies, including a threshold analysis worksheet;
- Clarified storm drainage and downstream assessment requirements;
- Updated water and sanitary sewer standards, including minimum pipe sizes and material requirements; and
- Addition of easement requirements.

The proposed Manual provides clear, consistent, and practical guidance to support future

development while maintaining the City of Aledo’s infrastructure standards.

Recommendation:

Staff recommends City Council approve Resolution No. 2026-R-07 adopting a revised Design Standards Manual.

Attachments:

- 1. Res. No. 2026-R-07 Adopt Design Standards Manual
- 2. Aledo Design Standards Manual - April 2026 (Final)

RESOLUTION 2026-R-07

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ALEDO, TEXAS, APPROVING AND ADOPTING A REVISED DESIGN STANDARDS MANUAL.

WHEREAS the City of Aledo, Texas ("City"), is a home rule city acting under its charter adopted by the electorate pursuant to Article XI, Section 5, of the Texas Constitution and Chapter 9 of the Local Government Code; and

WHEREAS Kimley-Horn created an updated manual that reflects current engineering design practices for water, sanitary sewer, street, and storm drainage infrastructure, and incorporated updated construction details; and

WHEREAS the document has also been revised, where appropriate, to align with the City's Unified Development Code.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF ALEDO, TEXAS, THAT:

1. The City of Aledo Design Standards Manual, dated April 2026, is hereby adopted in its entirety.
2. This Resolution shall take effect upon its adoption, and it is so resolved.

PASSED AND APPROVED this 2nd day of April, 2026.

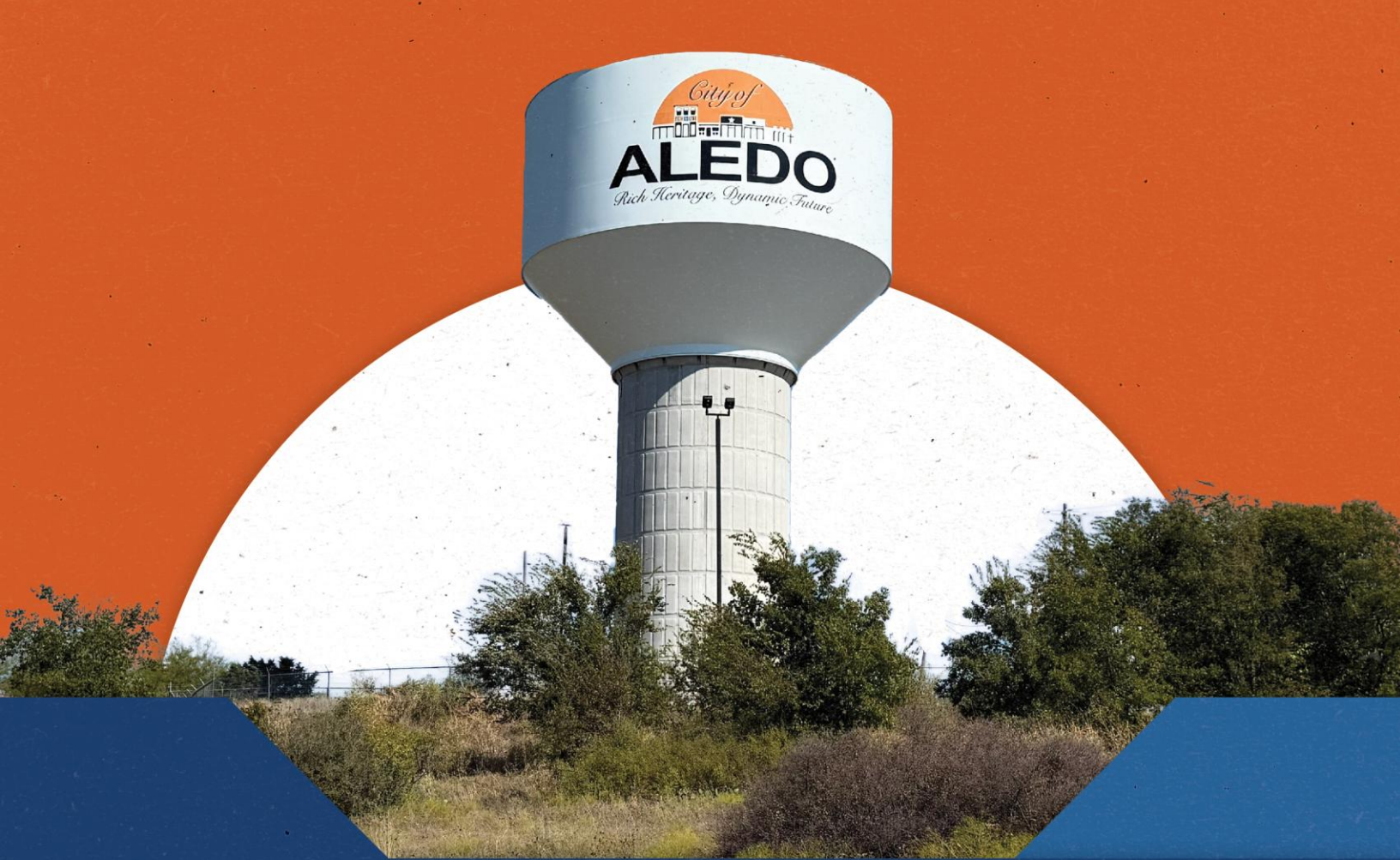
Shane Davis, Mayor

ATTEST:

Staci L. King, City Secretary

APPROVED AS TO FORM AND LEGALITY:

Alicia K. Kreh, City Attorney



DESIGN STANDARDS MANUAL

APRIL 2026



CITY OF
ALEDO

200 Old Annetta Road Aledo, Texas 76008

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SECTION 1. PURPOSE

The Design Standards Manual contains the various construction criteria, techniques and details that are the minimum City of Aledo (City) requirements for the design and construction of public facilities. This data is intended for use by Developers and engineers and is intended to provide design standards for the public facilities associated with a proposed development or the City's Capital Improvements Projects.

In the event specific circumstances dictate additional requirements, it shall be the responsibility of the Developer's engineer to provide the necessary details for construction to be approved by the City's reviewing engineer.

All water, sewer, street, drainage or other installation shall be in accordance with current City Standards and specifications. In general, all construction shall follow provisions of the most current version of the "Public Works Construction Standards – North Central Texas – Standard Specification/Standard Drawings, North Central Texas Council of Government", except as provided herein.

SECTION 2. AMENDMENT PROCEDURES

The design and details contained in this manual may be modified by administrative action of the City and subsequent resolution by the City Council at such times as may be appropriate in keeping with the most up to date construction techniques and specifications.

SECTION 3. ABBREVIATIONS

Abbreviations used in this manual are as follows:

R.C.	Reinforced concrete
H.M.A.C.	Hot mix asphaltic concrete
P.I.	Point of intersection

SECTION 4. DEFINITIONS

The definitions contained in Chapter 66 – Unified Development Code within the City of Aledo's Code of Ordinances shall apply to the terms and words used herein.

SECTION 5. ENGINEERING PLAN AND PLAT STANDARDS

ENGINEERING PLANS – GENERAL

1. Each sheet of the Engineering plans shall be prepared, sealed, and signed by a civil engineer, licensed to practice engineering in the State of Texas and experienced in street, drainage and utility design.
2. Plans shall be drawn on standard 22" x 34" sheets with the City's title block, if applicable.
3. All elevations shall be referenced to the City datum.
4. Preliminary street, drainage and utility layouts shall accompany the submittal of the Preliminary Plat.
5. Final construction street, drainage and utility or other plans, including specifications, shall accompany the submittal of the Final Plat, and shall be furnished in the following format:

A. Cover Sheet containing:

- ▶ Project title
- ▶ Legal property description

- ▶ City name
 - ▶ Vicinity map
 - ▶ Owner, Engineer, and Surveyor's name, address, email address, and telephone number
 - ▶ Project title in small print placed vertically along the right border
 - ▶ Sheet index
 - ▶ Signature block (if applicable)
 - ▶ Engineer's name, seal, and engineering firm name and registration number, in accordance with Chapter 137 of the Texas Engineering Practice Act.
- B. Copy of applicable Plat bound with plans. The recorded Final Plat shall be bound with the as-built drawings.
 - C. Drainage Area Map and calculations with all existing contours, existing and proposed FEMA limits, existing and proposed storm drains, and/or other drainage facilities.
 - D. Site Plan indicating the location and width of all proposed and existing street and driveway approaches noting the back-of-curb radii, parking areas, and fire lanes.
 - E. Utility Plan indicating the location and size of all existing and proposed water and sanitary sewer lines. Also show the location of all existing and proposed fire hydrants adjacent to the site including the maximum coverage radius of each as outlined in later sections of this manual.
 - F. Plan and Profile Sheets for roads, sewer, storm drains, flumes, water lines (12-inch diameter and larger), and channels. Stationing shall be generally left to right with stationing beginning at the downstream end for all sewers, storm drains, and channels.
 - G. Stationing shall be included on the plan view as well as the profile for all roads, water, sewer, storm drain and channel sheets. Elevations shall be calculated and provided in all profiles as indicated below.
 - ▶ Straight grade-provide elevations at a maximum interval of 100 feet.
 - ▶ Vertical curve-provide elevations at the beginning and ending points and at a maximum interval of 25 feet in between.
 - H. Details for improvements which are to become public.
 - I. Streetlight plans.
 - J. Traffic striping and signage plans, if applicable. Traffic signal plans, if required.
6. Horizontal scale shall be 1-inch = 40 feet. Vertical scale shall be 1 inch = 4 feet, unless otherwise approved by City.
 7. Construction plans will be reviewed by the City's reviewing engineer and permitted after all comments have been resolved. Construction must start within three years following the signature approval. Plans for projects which have not commenced construction within this time must be resubmitted for a new review and shall be subject to all requirements and standards of the then existing Design Standards.
 8. All easements and rights-of-way required to serve the project shall be provided to the City at Developer's cost. If a Developer is unable to obtain an off-site easement/right-of-way, the City may exercise its right of eminent domain; but all costs incurred shall be borne by the Developer. See *Section 14 – Easement Standards* for additional easement requirements.

DRAINAGE PLANS

1. A preliminary drainage layout/study at a legible scale shall be submitted concurrently with the submittal of the Preliminary Plat. The **layout/study** shall cover the total property that is to be developed, including off-site drainage and outfalls. Off-site drainage areas must note the source and date of contour or topography information. 2019 LiDAR contours are available on TNRIS Data Hub or NCTCOG and may be used unless more accurate data is available. Existing and proposed easements shall be shown.
2. Preliminary drainage layout/studies shall include the following:
 - A. An overall plan, showing the existing topography at a contour interval of two feet, except for terrain with an average slope of less than two percent, where one-foot contours are required. Both existing

and proposed contours shall be shown. Information shall be provided for each of the following: Existing Conditions, Proposed Conditions, and Ultimate Conditions.

- B. A drainage area map at a legible scale.
 - C. Existing and proposed drainage facilities both on-site and off-site.
 - D. Existing improvements, or existing infrastructure and appurtenances, such as, but not limited to curb and gutter, pavement, sidewalks and driveways, storm sewers, inlets, manholes, culverts, streetlight and traffic equipment, fences, utility lines and structures, water meters, power poles and guy wires, etc.
 - E. Supporting design calculations with typical details for all proposed drainage facilities, (i.e., bridge, culverts, storm drain, channels, street capacities, etc.) along with sufficient detail to show that an adequate outfall is provided.
 - F. Preliminary calculations to show adequate drainage capacity in streets on a five-year frequency and in curb on a 100-year frequency.
3. Design shall provide for a minimum distance from top of curb to inlet depth pipe of 2.5 feet. As a standard, inlets should typically contain a depth of 4 to 4.5 feet (or otherwise approved).
 4. For construction plans, the appropriate hydraulic grade line (HGL) or water surface profile shall be plotted with all drainage design. Provide calculations in a standard HGL table format. Capacity, design discharge, velocity, and velocity head shall be noted on each drainage facility segment in the profile whenever one or more these parameters changes.

WATER AND SANITARY SEWER PLANS

1. A preliminary utility layout, at a scale of not more than 1" = 100', (or otherwise approved) will be submitted concurrently with the submittal of the Preliminary Plat. The layout shall show all existing and proposed water and sanitary sewer lines, along with existing and proposed appurtenances such as manholes, valves, and fire hydrants. Easement requirements shall also be shown.
2. Final construction plans shall be consistent with the approved preliminary utility layout.

OTHER UTILITIES – PLANS

1. The Developer shall furnish all easements and right-of-way necessary for construction of electrical, gas, cable television, and telephone service to the proposed subdivision.

STREET PLANS

1. Streets will be shown on plan and profile sheets, at a horizontal scale of 1" = 40' and a vertical scale of 1" = 4'; oriented with North at the top or to the right of the sheet and the stationing increasing from the left to the right. Generally, each street shall be shown on a separate plan and profile sheet.
2. The plan will show property lines; lot and block numbers; intersecting streets with their widths; curb-lines and returns; valley gutters; drainage flow arrows; centerline stationing; curve stationing and data; inlets and culverts; existing utilities; benchmarks and any other features to show the extent of the work.
3. The profile will show the existing ground at the center line and both property lines; top-of-curb profile; percent grades; beginning and ending elevations; P.I. with intersecting streets; locations of changes in grade; high point and low-point elevations with station and storm drainage facilities with size and grade.
4. A geotechnical report shall be provided including soil borings and analysis, pavement thickness, and cement or lime content to provide a recommended pavement design. Street plans shall comply with the minimum requirements below:
 - A. Local Streets
 - (i) 50 feet of right-of-way width in accordance with City's Unified Development Code.
 - (ii) Pavement Requirements:

- ▶ Pavement widths of 26 or 30 feet in accordance with City's Unified Development Code.
 - ▶ 5-inch crown (parabolic)
 - ▶ 5-inches reinforced concrete (R.C.) over 6-inches of lime or cement stabilized sub-grade (6-inch curb); or
 - ▶ 6-inches (1 ½ - inch surface course, 4 ½ - base in two courses) hot mix asphaltic concrete (H.M.A.C.) (7-inch curb/2-foot gutter) over 8-inches of lime or cement stabilized sub-grade.
- B. Collectors**
- (i) Major: 70 feet of right-of-way width in accordance with City's *Unified Development Code*.
 - (ii) Minor: 60 feet of right-of-way width in accordance with City's *Unified Development Code*.
 - (iii) Paving Requirements:
 - ▶ 6-inch crown
 - ▶ 6-inches reinforced concrete (R.C.) over 6-inches of lime or cement stabilized sub-grade (6-inch curb).
 - ▶ Collector streets in industrially zoned areas, or in the City's opinion will be subjected to regular use by vehicles of excess weight, require 7-inch R.C. over a 6-inch lime or cement stabilized sub-grade.
- C. Arterials**
- (i) Major: 110 feet of right-of-way width in accordance with City's *Unified Development Code*.
 - (ii) Minor: 80 to 100 feet of right-of-way width in accordance with City's *Unified Development Code*.
 - (iii) Paving Requirements:
 - ▶ 8-inch crown
 - ▶ 8-inches of R.C. over a 6-inch lime or cement stabilized sub-grade, (unless required otherwise by the City's Thoroughfare Plan or traffic analysis).
- D. Rural Streets**
- (i) This section applies for streets within the City Limits or for property where an annexation petition has been submitted for City approval.
 - (ii) 60 feet of right-of-way width and 10 feet of dedicated easement on each side in accordance with *City's Unified Development Code*.
 - (iii) Paving Requirements:
 - ▶ Pavement widths of 28 feet in accordance with City's *Unified Development Code*.
 - ▶ 5-inch crown
 - ▶ 6-inches reinforced concrete (R.C.) over 6-inches of lime or cement stabilized sub-grade (7-inch curb)
 - ▶ Curb and gutter is not required and borrow ditches are allowed for drainage (minimum three feet depth with side slopes no deeper than 3:1 on the back slope and 4:1 on the front slope).
- E. The requirements set forth in this Section may be revised as required by the City's Thoroughfare Plan, a traffic study, or other special circumstances.**

TRAFFIC PLANS

1. All developments, unless otherwise directed by the City, are required to prepare and submit a Traffic Impact Analysis (TIA) Worksheet, accompanied by a conceptual site plan, for review by the City. See *Appendix* for the worksheet.
 - A.** The TIA Worksheet must be prepared by a licensed professional engineer in the State of Texas using trip generation information in the latest edition of the Institute of Transportation Engineers (ITE) *Trip Generation Manual*. If approved by the City, other sources for trip generation information

may be used if provided detailed trip generation data from at least three (3) sites with development-specific land uses not included in the *Trip Generation Manual*.

- (i) Peak hours outside of those included in the TIA Worksheet may be required for consideration dependent on the proposed land use (i.e., religious sites, retail sites, etc.).
 - B.** The conceptual site plan should depict the development's proposed land uses, building square footages, and proposed access locations.
 - C.** The City will review the TIA Worksheet and conceptual site plan to determine the need for a Traffic Impact Analysis (TIA). In general, if a proposed development is anticipated to generate 100 or more peak hour vehicle trips, a development contains 50 residential units or more, a non-residential development requires 200 parking spaces or more, or in the opinion of the City, traffic congestion may result from the development, a TIA will be required. General TIA trip generation thresholds are provided below:
 - (i) All Projects
 - ▶ TIA Worksheet
 - At the City's discretion, the City may waive the need for a TIA Worksheet for sites with negligible site-generated traffic (i.e., one (1) single-family home).
 - (ii) 100+ Peak Hour Vehicle Trips
 - ▶ TIA Required
 - ▶ Scenarios including Existing, Build Out Background (Post-Construction Year, without site traffic), and Build Out (Post-Construction Year, with site traffic)
 - ▶ Study area including intersections and roads anticipated to be significantly impacted by the site (generally within ½-mile of the site at the discretion of the City), in addition to site access locations
 - (iii) 500+ Peak Hour Trips
 - ▶ TIA Required
 - ▶ Scenarios including Existing, Build Out Background, Build Out, Horizon Background (5 Years beyond the Build Out Year, without site traffic), and Horizon (5 Years beyond the Build Out Year, with site traffic)
 - ▶ Study area including intersections and roads anticipated to be significantly impacted by the site (generally within 1 mile of the site at the discretion of the City Engineer), in addition to site access locations
 - (iv) If a development is proposed in phases, the anticipated completion year of each phase may be required to be evaluated with, and without, site traffic.
2. If a TIA is determined to be required for a proposed development, prior to beginning the TIA, a scoping memorandum shall be submitted to the City for review and comment. The scoping memorandum must be approved by the City prior to beginning the TIA. Upon request, the City may meet to discuss scoping memorandum comments. The scoping memorandum should include the following:
- A.** Overview of the project
 - B.** Definition of the proposed study intersections
 - C.** Proposed data collection (i.e., peak hour turning movement counts at the study intersections while schools are in session)
 - D.** Trip generation
 - E.** Generalized trip distribution percentages (i.e., X% to/from the east along Y road)
 - F.** Proposed background growth methodology
 - (i) The City may provide adjacent development information to be included in future conditions
 - G.** Proposed evaluations to be included in the TIA

3. The following elements shall be included in a TIA report, at a minimum:

A. Introduction

- (i) Provide a brief overview of the purpose of the study, location of the site, and proposed land uses and access locations.
- (ii) Provide the current conditions of the site, including existing land uses and zoning.
- (iii) Describe the study intersections being evaluated and provide a vicinity map to show the study area and proposed site access locations.

B. Existing Roadway Conditions

- (i) Describe all major roadways in the site's vicinity that are anticipated to be impacted by the development (i.e., all roadways included in study area). Identify the existing cross sections, speed limits, whether it is a TxDOT facility, and number of access locations proposed along the facility. Include the ultimate thoroughfare classifications and cross sections, as well as existing pedestrian infrastructure or lack thereof.
- (ii) Provide an exhibit showing the existing intersection lane assignments and traffic controls at the study intersections.
- (iii) Describe any known projects in the study area that are anticipated to impact the analysis. This may include intersection improvements or roadway projects.
- (iv) Provide an exhibit showing the existing peak hour turning movements at the study intersections. Typically, this is the highest hourly volumes from 7-9 AM and 4-6 PM. Both AM and PM peak hour volumes should be included for evaluation purposes.

C. Trip Generation

- (i) Describe the methodology used to determine the proposed development's trip generation. Provide a table showing the rates used and the resulting daily and peak hour trip generations. Each peak hour to be analyzed should be included in the table. Any impacts due to pass-by or internal capture that are being accounted for should be described and included in the table. If the development is proposed to be constructed in phases, the trip generation for each phase should be provided.

D. Trip Distribution and Traffic Assignment

- (i) An estimate of the directional distribution of site traffic entering and exiting the proposed development should be presented. The directional distribution of the development should be based on existing traffic patterns, access locations and configurations, and future study area roadway network, as applicable. Provide an exhibit clearly communicating the trip distribution assumptions for the overall study area and at each study intersection and access location. The exhibit should distinguish between entering and exiting patterns. Multiple trip distributions may be needed for phases developments to reflect changing traffic patterns resulting from additional land uses and access locations provided in subsequent phases.
- (ii) The resulting traffic assignment should be provided at each study intersection and access location during the peak hours evaluated.
- (iii) Exhibits illustrating the pass-by distribution and resulting assignment should be provided if being evaluated.

E. Future Traffic Volumes

- (i) Provide a methodology for the determination of a compounding growth rate to account for background growth in future conditions.
- (ii) Provide a table summarizing the historical traffic volumes, model projections, etc. used to determine the growth rate.
- (iii) Describe any adjacent developments being included in addition to the background growth rate, as applicable, and provide those developments' site traffic throughout the study area.
- (iv) Provide exhibits for the peak hour turning movement counts in the future analysis scenarios (with, and without, site traffic).

F. Access Evaluations**(i) Sight Distance Analysis**

- ▶ Guidelines provided in the AASHTO Green Book should be used to determine the required intersection sight distance required for the proposed access locations. The analysis should consider Left-turn from Stop (Case B1), Right-turn from Stop (Case B2), and Left-turn from Major Road (Case F). Provide the required sight distances at each access location.
- ▶ Field observations should be conducted to confirm adequate sight distance is provided at each proposed project access location. Provide a photolog for the intersection sight distance for all proposed access locations.

G. Turn Lane Analysis

- (i)** Each proposed access location should be evaluated for turn lane needs based on the most future analysis scenario.
- (ii)** Left-turn lanes shall be provided at all median openings where left-turns are allowed on streets with medians. For roadways without a median, left-turn and right-turn lanes are required when warrants provided in the NCHRP *Report 457* are satisfied. Provide the NCHRP *Report 457* worksheets for each proposed access location during the evaluated peak hours of the development.
- (iii)** The determination of turn lane needs along a TxDOT roadway shall be evaluated using TxDOT criteria.
- (iv)** If the development is anticipated to contribute traffic to existing turn lanes, the 95th-percentile queue length in the most future analysis scenario shall be confirmed to be adequately accommodated by existing infrastructure.

H. Access Spacing

- (i)** The concept plan shall provide dimensions for the spacing between all proposed access locations and the nearest upstream and downstream intersections or driveways.
- (ii)** The spacing of proposed access locations is subject to approval by the City.
- (iii)** The evaluation of access spacing along a TxDOT roadway shall be analyzed using TxDOT criteria.

I. Intersection Capacity Analysis

- (i)** Provide an overview of the scenarios being evaluated and intersection analysis tool being used. The target level of service (LOS) for traffic analysis purposes must meet the requirements of the City's *Unified Development Code*.
- (ii)** When reporting LOS, the model should account for overall intersection peak hour factors and heavy vehicle percentages from the data collection used in all analysis scenarios in the respective peak hours.
- (iii)** A table shall be provided that identifies the stop-controlled approach delays and LOS at two-way stop-controlled intersections. All intersection approaches and overall intersection delays in seconds and LOS shall be included in the table for all-way stop-controlled and signalized intersections.
- (iv)** For any intersection or approach projected to operate at LOS D or worse, provide mitigations necessary to improve operations to acceptable LOS. Provide the mitigated intersection or approach delays and LOS in a table, as applicable.

J. Other Considerations

- (i)** Site-specific evaluations may be required based on the context of the proposed development, including thoroughfare capacity analyses, crash history evaluations, on-site queue management plans, detailed pedestrian or bicyclist considerations, etc.

K. Conclusions and Recommendations

- (i) Summarize the conclusions of the analysis included in the report and all resulting mitigation measures recommended. All evaluations should be discussed, including if concluded that no mitigations are recommended.
 - L. The TIA must be prepared and sealed by a licensed professional engineer in the State of Texas. The City will review the TIA and provide comments. Once comments have been addressed and the TIA has been approved by the City, the approval is valid for 24 months, provided that significant changes in the development proposal or surrounding conditions have not occurred. The TIA shall be revised if the proposed land use is changed significantly to generate greater than 10% more trips than evaluated in the TIA, site access locations are modified, or the initial TIA assumptions are no longer valid.
- 4. Traffic control signals should not be installed unless one, or more, of the signal warrants are met in accordance with the Texas Manual on Uniform Traffic Control Devices (TMUTCD). The satisfaction of a warrant or warrants is not in itself justification for a signal. Traffic signals should only be used where an Engineering Study indicates the installation of a traffic signal will improve the overall safety and/or operation of the intersection. If these requirements are not met, a traffic signal should neither be put into operation nor continued in operation (if already installed).
- 5. In instances where the City determines the need for traffic signals due to a development, the Developer shall provide engineered plans, specifications, and bid documents for construction of the traffic signal(s) and shall construct and pay for the required signals.

FINAL CONSTRUCTION PLANS

1. Submittal Requirements:
 - A. A PDF of the final engineering plans shall be submitted for review, in conjunction with a Final Plat by uploading the submittal to the City's permitting software.
 - B. After approval of the final engineering plans, PDF of the approved final plans shall be provided to the City.
2. General:
 - A. Final construction plans shall show all existing and proposed improvements including, but not limited to curb and gutter, pavement, sidewalks and driveways, storm sewers, inlets, manholes, culverts, streetlight and traffic equipment, public fences, utility lines and structures, water meters, power poles and guy wires, etc.
3. Drainage Final Plans:
 - A. Final construction plans (horizontal scale 1" = 40', vertical scale 1" = 4') shall be consistent with the approved preliminary drainage layout/study and shall provide a drainage system which is fully functional and readily maintainable. Existing and proposed water, sewer or other underground facilities of private utilities or other entities shall be shown on the plans. It shall be the responsibility of the Developer and Developer's engineer to see that this information is correctly shown.
4. Water Final Plans:
 - A. Final construction plans (minimum scale of 1" = 100') will show all lines, valves, fire hydrants, services and special connections. The sanitary sewer system, drainage lines or lines of other entities will be shown on the water plans. It shall be the responsibility of the Developer and their engineer to confirm this information is correctly shown. Minimum depth to top of water lines shall be 42-inches from proposed ground surface, or as necessary to clear conflicts. Where lines are to be installed in street right-of-way, profiles will be required only for lines of 12-inch diameter or larger. In other instances (such as easements), a profile (or top of pipe elevations at regular station intervals) will be required for any size line. Centerline stations for services and appurtenances are required for all lines of any size.

- B. Where water mains are to be installed in rights-of-way having road constructed without curb and gutter, a plan and profile sheet shall be submitted with the construction plans showing the proposed water main profile, the existing street grades, and the preliminary future top-of-curb grades for at least 300 feet either side of the boundary of the proposed subdivision.
 - C. A profile, or top of pipe elevation table, is required also when the water main is to be constructed outside street right-of-way.
5. Sewer Final Plans:
- A. Final sewer plans and profiles, at a horizontal scale of 1" = 40' and a vertical scale of 1" = 4', will show similar information as shown on the street plan and profiles; grade line with stations and elevations at each grade break; line size with percent slope to two decimal places, service connections with station and lot to be served; elevation of the service at the curb-line; manholes with flow lines and top elevations; water lines, storm drain lines or underground lines of other entities. It shall be the responsibility of the Developer and their engineer to confirm this information is correctly shown. Minimum depth to sewer flow lines shall be 48-inches from proposed ground surface, unless otherwise approved.
 - B. If a new sanitary sewer line is to be constructed adjacent to an existing street, the profile will need to include the existing top of curb grades.

PLAT SUBMITTAL (CAD) REQUIREMENTS

1. All Plats must be drawn to a legible scale.
2. PDF of the Final Plat shall be uploaded to the City's permitting software for review.
3. The Plat should include the following information:
 - ▶ Border Frame
 - ▶ Existing Building Line
 - ▶ Existing Center Line
 - ▶ Existing Drainage and Utility Easements
 - ▶ Existing Flood Plain
 - ▶ Existing Lots and/or Tracts
 - ▶ Existing Street Names
 - ▶ Existing Survey Abstract
 - ▶ Existing Iron Rods
 - ▶ Proposed Setbacks
 - ▶ Proposed Block
 - ▶ Proposed Centerline
 - ▶ Proposed City Limit Line
 - ▶ Proposed Boundary Line
 - ▶ Proposed Boundary Line Dimension Data
 - ▶ Proposed Drainage and Utility Easements
 - ▶ Proposed Flood Plain / Flood Plain Easement
 - ▶ Proposed Iron Rods
 - ▶ Proposed Lots and/or Tracts
 - ▶ Proposed Street Names
4. The proposed Plat shall tie to survey control monuments accepted by the City. The Plat shall contain a note describing control points to which dimensions are referenced.
5. CAD files must be provided in the Texas Coordinate System of 1983 (NAD83), North Central Zone (4202)..

SECTION 6. GOVERNING SPECIFICATIONS AND DETAILS

GENERAL

1. All platted lots shall be connected to a public water and sanitary sewer system in accordance with the requirements set forth in the City's *Unified Development Code* and City Code *Chapter 81 - Utilities*.
2. The design for all improvements shall be in accordance with the following regulations:
 - A. City Design Standards Manual
 - B. The *Standard Specifications and Drawings for Public Works Construction* as published by the North Central Texas Council of Governments (NCTCOG)
 - C. 30 Texas Administrative Code (TAC) Chapter 290
 - D. 30 TAC Chapter 217
3. Any water main, sanitary sewer main, storm drainage infrastructure, and associated appurtenances not in complete conformance with City Design Standards Manual shall not be permitted, unless approved by the City.
4. Water, sanitary sewer mains, and storm drainage infrastructure within the City Limits, or property proposed to be annexed, shall be designed and constructed in accordance with design standards and specifications contained herein.

SECTION 7. WATER SYSTEMS

POLICY

1. Water mains adequate for domestic supply, and for fire protection needs, shall be installed to serve each lot in every subdivision in accordance with the City's *Unified Development Code*.
2. In general, water main design shall meet the intent of the City's Water Master Plan. On a case-by-case basis, the City may elect to require infrastructure to be sized beyond the capacity required to meet the demand for the specific development, requiring the Developer to oversize the infrastructure as part of a separate Development Agreement in accordance with the City's *Unified Development Code*.
3. Any new construction requiring the extension of public water mains requires a Development Agreement, which shall be prepared in accordance with the City's *Unified Development Code*.
4. All water mains constructed within a proposed subdivision shall be extended to the perimeter of the proposed subdivision to allow for future extension of the water system into adjacent properties in accordance with the City's *Unified Development Code*.

EASEMENT REQUIREMENTS FOR WATER MAINS

1. Developer shall, without charge to the City, furnish all necessary easements and rights-of-way for off-site and on-site utilities required to serve the development. See *Section 14 – Easement Standards* for further requirements.

MINIMUM WATER MAIN SIZE

1. The minimum water main size in all areas shall be 8 inches in diameter.
2. Larger diameter mains will be required if called for by the Water Master Plan, or other analysis. Larger diameter mains will also be necessary if fire flow requirements so dictate.

- A. A fire flow analysis may be required by the City if deemed necessary to determine adequate proposed water main sizes.

WATER MAIN MATERIALS

1. All materials and workmanship incorporated in water system improvements shall be in accordance with the City's Design Manual contained herein. Water lines shall be minimum Pressure Class 305, AWWA C900, DR14.

HORIZONTAL/VERTICAL ALIGNMENT AND CLEARANCE REQUIREMENTS

1. Minimum depth of cover over all water mains shall be three and one-half feet (42-inches).
2. Clearance Requirements
 - A. Storm Drain – The minimum horizontal separation between any water main and a storm drain facility shall be 2.5 feet, unless approved otherwise by the City.
 - B. Sanitary Sewer Mains – In accordance with Texas Commission on Environmental Quality requirements, the minimum horizontal separation between any water main and a sanitary sewer main shall be nine feet measured from outside edge of pipe to outside edge of pipe. When the nine-foot horizontal separation distance cannot be achieved, or if a water main is crossing a sanitary sewer main, the mains must meet separation requirements set forth in 30 TAC Chapter 290.44.

SERVICE LINE AND WATER METER REQUIREMENTS

1. Without cost to the City, the Developer shall install all water lines, including customer services and meter boxes (excluding water meters).
2. Residential water services shall not be directly connected to water mains 16-inches in diameter or greater. Smaller, parallel water mains are required to provide water service connections and shall be extended across the full-frontage of the development.
3. Typical Location of Water Services
 - A. All water services shall be placed at the lot line, between lots, where possible and all water meters shall be located in City right-of-way or inside a water line easement, unless approved otherwise by the City.
 - B. In Urban subdivisions, location of water meters shall be as per Standard Detail. Where sidewalks are adjacent to the street, meter boxes shall be required between the sidewalks and the property lines. Water services shall be plainly marked on the curb in accordance with the Standard Details.
 - C. In streets without curbs, water meters shall be located 2 feet from the property line.

FIRE LINES

1. The maximum length of fire lines is 250 feet from the backflow preventer or private hydrant to the City water main.
2. Fire lines must be installed in accordance with the City's adopted *Fire Code*.

VALVES

1. All tee intersections of public water mains shall include at least two gate valves.
2. All cross intersections of public water mains shall include at least three gate valves.
3. All dead-end water mains shall end with a valve and fire hydrant for flushing purposes. Dead-end mains shall not exceed 150 feet.

FIRE HYDRANTS

1. In all conventional single-family, or two-family, subdivisions, fire hydrant spacing shall not allow the fire hose lay distance to the main entrance of the building to exceed 500 feet, as measured along public right-of-way and/or emergency access easements.
2. Generally, in all other subdivisions, fire hydrant spacing shall not allow the fire hose lay distance to the main entrance of the building to exceed 300 feet as measured along public right-of-way and/or emergency access easements. For special commercial installation requirements, consult the City's adopted Fire Code.
3. Fire hydrants located on the opposite side of a major collector or arterial street, (i.e., pavement width greater than 40 feet), from a development shall not be considered when determining adequate fire hydrant coverage for a development.
4. All dead-end water mains shall end with a valve and fire hydrant for flushing purposes.

ALTERNATIVE WATER FACILITIES

1. All development within the jurisdiction of the City shall have an approved water supply and shall be required to connect to City facilities unless alternative arrangements have been approved in accordance with City Code Chapter 66 – *Unified Development Code*.

SECTION 8. SANITARY SEWER SYSTEMS

POLICY

1. In general, sanitary sewer mains shall meet the intent of the City's Wastewater Master Plan. On a case-by-case basis, the City may elect to require infrastructure to be sized beyond the capacity required to meet the demand for the specific development requiring the Developer to oversize the infrastructure as part of a Development Agreement in accordance with the City's Unified Development Code.
2. Any new construction requiring the extension of public sanitary sewer mains requires a Development Agreement, which shall be prepared in accordance with the City's Unified Development Code.
3. All sewer mains installed within a development must extend to the borders (full-frontage) of the subdivision as required for future extensions of the collection system regardless of whether or not such extensions are required for service within the development in accordance with the City's Unified Development Code.
4. No connection shall be made to any sanitary sewer within the City that will permit the entrance of surface water or waste which has other than domestic sewage characteristics without the special authorization of the City Council.

EASEMENT REQUIREMENTS FOR SANITARY SEWER MAINS

1. The Developer shall, without charge to the City, furnish all necessary easements and rights-of-way for off-site and on-site utilities required to serve the development. See *Section 14 – Easement Standards* for further requirements.

MINIMUM SANITARY SEWER MAIN SIZE

1. No sanitary sewer main shall be less than 8 inches in diameter.
2. Larger diameter mains will be required if called for by the Wastewater Master Plan, or other analysis.

SIZING SANITARY SEWER MAINS

- All sanitary sewer mains shall be designed with consideration for the entire basin serving area subject to collection by the sewer in question. Additional requirements may be requested to be provided at the direction of the City.
- The contributing sewage flow shall be determined on the basis of an average flow of 100 gallons per person per day without separate provisions for infiltration. The population density shall be based on 3 persons per single family unit but shall not be less than 9.5 persons per acre. For non-residential developments, the average flow shall be 35 gallons per day per employee/person/student proposed for the development. Outfall Sewers and Collector Sewers shall be designed on the basis of the following peaking factor formula:
 - ▶ $M = \text{Peaking Factor} = 1 + \frac{14}{4 + \sqrt{P}}$ (Harmon's Formula)
Where: P = Population expressed in thousands
 - ▶ Sewer line sizing procedure is as follows;
L = Load/person/day = 100 gal./person/day
A = Average load/person - $L/1440 = .0694$ gal/min/person
T = Total average load of a given population T = A x # of persons in population (ultimate)
D = Design load = M x T = gal/min (GPM)
In certain areas, the design load (D) may need to be increased by an infiltration factor to be provided by the City.

SANITARY SEWER MAIN MATERIALS

- All materials and workmanship incorporated in sanitary sewer system improvements shall be in accordance with the City's Design Manual contained herein. Sanitary Sewer lines shall be minimum ASTM D3034, DR 26 PVC mains.

HORIZONTAL/VERTICAL ALIGNMENT AND CLEARANCE REQUIREMENTS

- Vertical curves in the sanitary sewer mains will not be allowed.
- Clearance Requirements
 - A. *Storm Drains* – The minimum horizontal separation between any sanitary sewer main and a storm drain facility shall be equal to two and one-half feet or one-half times the depth of the sanitary sewer or storm drain, whichever is greater.
 - B. *Water Mains* – In accordance with Texas Commission on Environmental Quality requirements, the minimum horizontal separation between sanitary sewer main and water main shall be nine feet measured from outside edge of pipe to outside edge of pipe. When the nine-foot horizontal separation distance cannot be achieved, or if a water main is crossing a sanitary sewer main, the mains must meet separation requirements set forth in *30 TAC Chapter 217.53*.

SERVICE LINE AND CLEANOUT REQUIREMENTS

- Sewer services shall be plainly marked on the curb in accordance with the Standard Details.
- All services shall be placed at the center of each lot unless instructed otherwise by the City.
- The maximum depth for all sewer services shall be 10 feet unless otherwise approved by the City.

MANHOLE REQUIREMENTS

1. Manholes are required at all points of change in alignment, grade, size, and material. Manhole spacing shall not exceed 500 feet.
2. Sewer mains which require more than an 18-inch difference in flow lines must be accommodated with a four foot inside diameter manhole with an external drop.
3. In general, all sanitary sewer mains shall end at a manhole. Cleanouts will not be allowed unless distance from manhole to cleanout is 250 feet or less.
4. Four foot inside diameter manholes will be required as sampling ports on all automotive repair and food handling facilities. The manhole must be located between the public sewer main and the grease trap.

LIFT STATIONS OR SEPARATE TREATMENT FACILITIES

1. The provisions for lift stations or separate treatment facilities will not be permitted unless, in the opinion of the City, there is no feasible alternative which can provide the necessary service to the proposed subdivision in accordance with the City's *Unified Development Code*.

ALTERNATIVE SEWER FACILITIES

1. A development may be approved with alternative sewer facilities in accordance with the criteria set forth in the City's *Unified Development Code*.

SECTION 9. STREET SYSTEMS

STREET CLASSIFICATION SYSTEM

1. Streets Are Classified As Follows:
 - A. Access or frontage road.** A street or road that provides access to adjacent properties along a freeway or expressway.
 - B. Approach street.** A new or existing street not adjacent to a subdivision being developed but which provides access or improved access to such subdivision.
 - C. Collector street.** A street that may be continuous through several neighborhoods, distributing traffic from the arterial street system. A collector street provides both land access and local traffic movements within neighborhoods.
 - D. Cul-de-sac.** A short street terminating in a turnaround.
 - E. Freeway or expressway.** A highway intended to move large volumes of traffic around and across the City without direct access to adjacent land.
 - F. Local or Residential street.** A street that provides direct access to abutting properties and connects to the collector street system. Residential streets should be short and discontinuous to discourage through traffic.
 - G. Minor arterial.** A street that interconnects and augments the principal arterial system with more land access at a lower level of traffic mobility. Due to high traffic volumes, direct access is closely controlled through City staff review of traffic study where deemed necessary.
 - H. Principal arterial.** A street that serves a major center of metropolitan activity, among the highest traffic volume corridors of trips into and out of the City. Due to the high traffic volume, direct access is closely controlled, through City staff review of traffic study where deemed necessary.
 - I. Thoroughfare (major street).** Designates principal traffic thoroughfares, more or less continuous across the City, which are intended to connect remote parts of the City or areas adjacent thereto

and act as principal connecting streets with State and Federal highways. Major streets are designated on the Comprehensive Land Use Plan and the thoroughfare plan of the City.

- J. Industrial or commercial street.** A street intended to serve traffic within an area of industrial or commercial development.
- K. Alley.** A public right-of-way intended to provide access to individual properties.
- L. Private street.** A street providing direct access to abutting properties which connect to the City's street system and is not owned, improved or maintained by a governmental entity.
- M. Private place.** A cul-de-sac providing direct access to abutting properties which connect to the City's street system and is not owned improved or maintained by a governmental entity.

STREET STANDARDS

1. Unless otherwise approved by the City, provisions shall be made for the extension of arterial streets in accordance with the thoroughfare plan of the City. Collector streets shall be provided for the circulation of traffic through the subdivision and connection to the major streets. Adequate local streets shall be approved to accommodate the subdivision.
2. Where they are not shown in the thoroughfare plan, the streets in the subdivision shall:
 - A.** Provide for the continuation or appropriate projection of existing principal streets in surrounding areas; or
 - B.** Conform to a plan approved or adopted by the City to meet a particular situation where topographical or other conditions make continuance or conformance to existing streets impractical; or
 - C.** Conform to a plan for street location or extension approved by the City Council after review by the Planning and Zoning Commission.
3. Local streets shall be designed so that their use by through traffic will be discouraged.
4. Where a subdivision abuts or contains an existing or proposed major street, the City may require such design as may be necessary for adequate protection of residential properties and to afford the separation of through and local traffic.
5. Where a subdivision borders on or contains a railroad right-of-way or freeway, the City may require a parallel street along each side of such right-of-way at a distance suitable for the appropriate use of the intervening land. The distance of a street from a railroad or freeway shall address the problem of approach grades and future grade separations.
6. More than two streets intersecting at a point shall be avoided. Angles of intersection for streets shall be in accordance with the City's *Unified Development Code*.
7. Streets designated to be permanently dead ended shall meet the requirements set forth in the City's *Unified Development Code*.
8. All streets should be designed to be in line with existing streets. When conditions require the centerlines to be offset, minimum offset distance shall be in accordance with the City's *Unified Development Code*. Greater centerline offsets may be required when necessary for traffic safety.
9. Street right-of-way width requirements shall be in accordance with the City's *Unified Development Code*.
10. Half-streets shall be prohibited, except where essential to the reasonable development of the subdivision in conformity with the other requirements of these specifications, and where the City finds it will be practicable to require the dedication of the other half when the adjoining land is subdivided. The other half of the street shall be dedicated at the time it is platted.
11. All streets within or abutting the proposed subdivision shall be paved in accordance with the City's standards and specifications. All paving shall be to the width specified on the thoroughfare plan or per its function and shall be constructed under the inspection of the City. The construction costs of all street improvements shall be borne by the Developer unless participation by the City has been approved.
12. Underground City-owned utilities required in the subdivision shall be placed under or across all streets after the rough grades are made, but prior to the paving being placed. Paving operations shall not be allowed to start until the utility work is complete.

13. Street grades shall be designed such that excessive sand deposition from too low a water velocity or pavement scouring from too high a velocity is avoided. The minimum street grade permitted shall be 0.50%. The maximum street grade shall be:
 - ▶ Local/Rural – 10%
 - ▶ Collector – 8%
 - ▶ Arterial – 6%
14. Unless otherwise approved by the City, generally, streets will be designed for the following design speeds (without super elevation);
 - ▶ Local / Rural – 30 MPH, no minimum
 - ▶ Collector (Minor) – 35 MPH
 - ▶ Collector (Major) – 40 MPH
 - ▶ Arterial – 45 MPH
15. Standard pavement widths for all classifications shall be in accordance with the City's *Unified Development Code*.
16. The minimum radius for curb returns at intersections shall be 20 feet to the face of curb , unless required to be larger to meet Fire Code requirements.
17. A tangent at least 100 feet long shall be introduced between reverse curves on arterial and collector streets.
18. Visibility triangles/easements shall be provided in accordance with the City's *Unified Development Code*.
19. Reinforced concrete valley gutters shall be required at all asphalt street intersections where gutter flowlines cross another street or at low points where water flow crosses the street.
20. Median openings shall be limited in accordance with the City's *Unified Development Code*.

ALLEY STANDARDS

1. Alleys are not preferred but may be allowed in certain cases as approved by the City.
2. Alleys serving residential areas shall have a minimum right-of-way width set forth in the City's *Unified Development Code*.
3. Alleys shall intersect a street at right angles or radially to curved streets.
4. Where two alleys intersect or turn at a sharp angle, an additional triangular area shall be dedicated to provide a minimum turning radius set forth in the City's *Unified Development Code*.
5. Alley paving should have a minimum grade of 0.50% and a maximum grade of 10%.
6. Dead-end alleys shall be no longer than 150 feet.
7. Maximum alley length shall be in accordance with the City's *Unified Development Code*.
8. Paving shall be reinforced concrete of type required for comparable streets construction of similar zoning. A geotechnical report shall be provided including soil borings and analysis, pavement thickness, and cement or lime content to provide a recommended pavement design.

BLOCK STANDARDS

1. See City's *Unified Development Code* for block standards.

SIDEWALK STANDARDS

1. See City's *Unified Development Code* for sidewalk standards.
2. Sidewalks shall be constructed in accordance with the City Standard Details.
3. Accessible ramps shall be constructed at the intersection of all streets or other locations as deemed necessary by the City and in accordance with American Disabilities Act (ADA) requirements.

DRIVEWAY ACCESS

1. To minimize traffic hazards created by numerous intersections along major thoroughfares, direct vehicular access from any residential lot to a minor or principal arterial street, or a thoroughfare is prohibited. In cases where platting prior to the effective date of this ordinance has allowed a residential lot to front on a principal arterial, a minor arterial, or a thoroughfare without a requirement for alternative access, driveway design must provide a “head-out” access, such as a circular drive or side entry garage.
2. Due to high traffic volume, direct access to a thoroughfare is closely controlled and the City may require the Developer to submit a traffic study performed by a licensed professional engineer, or traffic engineer.

DRIVEWAY STANDARDS

1. Residential Driveway Approaches
 - A. Residential driveway approaches shall be designed and constructed in accordance with the City Standard Details. See **Section 15**.
 - B. Width of Driveway Approaches:
 - ▶ Residential driveway approaches shall not be less than 11 feet in width or more than 18 feet wide measured at the property line. Specific exception to these criteria may be requested by the property owner. Any exception granted based on a specific design submittal must have the approval of the City.
 - C. Radius:
 - ▶ Residential driveways shall be constructed with the return curbs having rolled face disappearing at the sidewalk and joining the street curb with a minimum 5-foot radius and a maximum 10-foot radius, unless otherwise approved by the City.
 - D. Provision for Joint Approaches:
 - ▶ Driveway approaches shall be located entirely within the frontage of the premises served except that joint, or cooperative, drives (located within dedicated easements) with adjoining properties may be permitted. Joint driveway approaches may be required by the City. Requests for joint drive approaches must be made by all the interested parties and all property owners involved. The design of the joint driveway facilities must be submitted with the request to be approved by the City.
 - E. Residential Driveway Approaches at Street Intersections:
 - ▶ The drive approach on corner lots must be located to approximately line up with the side of the house or garage that is farthest from the intersection. The drive approach edge farthest from the street intersection must be within three feet of the far side of the house or garage, unless otherwise approved by the City.
 - F. Single and two-family lots will not be allowed direct access drives onto major thoroughfares.
2. Commercial/Industrial Driveway Approaches
 - A. Commercial and industrial driveway approaches shall be constructed in accordance with the City's Standard Details. See **Section 15**.
 - B. Width of driveway approaches:
 - ▶ The width of any commercial or industrial driveway approach shall not be less than 24 feet nor more than 35 feet measured along the property line. Divided driveways may be allowed on a case by-case basis upon approval by the City of a variance. Specific variance to this criterion may be requested by the Developer. Any variance requested based upon a specific design submittal require the approval of the City.

C. Radius:

- ▶ Commercial and industrial driveways shall be constructed with the return curbs having a rolled face disappearing at the sidewalk and joining the street curb with a minimum of 30-foot radius, unless otherwise approved by the City.

D. The allowable spacing for driveway approaches shall be based upon an approved site plan.

E. Provision for Joint Approaches:

- ▶ Driveway approaches inclusive of approach radii, shall be located entirely within the frontage of the premises. Joint approaches and/or cross-lot access easements may be required by the City. Any request for joint drive access must be by agreement of all parties involved and a specific plan submittal must be included for approval of the City. Both parties will be required to dedicate public ingress and egress easements to cover the approach and joint access area.

F. Approaches on properties other than residential:

- ▶ The driveway for the corner lot, if allowed, must be located a minimum of 100 feet from the point of intersection of the curb lines of both streets, unless otherwise approved by the City.

G. Angle of driveway approach:

- ▶ The angle of the driveway approach with the curb line shall be 90 degrees.

H. Drive approaches on State maintained roads shall require approval from the City and the Texas Department of Transportation (TxDOT).

I. Sidewalk to be removed:

- ▶ Where a driveway approach is to be built, the sidewalk shall be removed and the entire area replaced as a driveway. The drive approach shall extend to the back of walk line.

3. Driveways Crossing Borrow Ditches

A. Size.

- ▶ The minimum culvert pipe size shall be 18 inches in diameter, unless otherwise approved by the City. All culverts shall be Class III or better reinforced concrete pipe (RCP). The ends of all culvert pipe shall be cut at a 6:1 slope.
- ▶ Radius: Residential driveways shall be constructed with the return curbs joining the edge of pavement at the street with a minimum of 10-foot radius.

B. Slope.

- ▶ The maximum slope from the edge of driveway to the top of the culvert pipe shall be 6:1. The sloped area around the end of the culvert pipe shall be sodded or hydro-mulched to prevent erosion.
- ▶ The minimum cross slope on the drive shall be 1/8 inch per foot and meet American Disabilities Act (ADA) requirements, if necessary. The minimum longitudinal slope between the edge of pavement at the street and the valley over the culvert pipe shall be 1/4 inch per foot.

C. Maintenance.

- ▶ Future maintenance of the drive approach and culvert pipe is the responsibility of the property owner.

D. Ditch Grading.

- ▶ During the drive approach installation, all ditch grading upstream and downstream of the proposed driveway culvert is the responsibility of the property owner.

E. Headwalls.

- ▶ Reinforced concrete headwalls shall be required at culvert ends. Headwalls shall be designed and constructed in accordance with TxDOT standards.

4. Approaches – Generally

- A.** Driveway Spacing: Where not otherwise restricted in the City's Unified Development Code, driveways shall contain a minimum spacing of 200 feet from other driveways and street intersections. Driveways cannot impede queuing on turning lanes.
- B.** Driveway approaches at pedestrian crossings:
 - ▶ Driveway approaches shall not be located in street intersections or at established pedestrian crossings.
- C.** Driveway approaches at obstructions:
 - ▶ Driveways shall be kept at a minimum of 5 feet away from obstructions such as street light posts, fire hydrants, traffic signals, etc.
- D.** Driveway approach not to be obstructed:
 - ▶ Driveway approaches shall not be constructed or designed for parking of vehicles or for use as angle parking (or head-in parking).

TRAFFIC SIGNALS

1. In instances where the need for future traffic signals is determined by the City due to development of a tract of land, the Developer shall be required to install same, or to provide payment for same.
2. General
 - A.** All traffic signals shall be designed in accordance with this section. Any necessary variations proposed by the designer for consideration during design shall be approved by the City prior to installation.
 - B.** Minimum Standards – All traffic signal designs shall be done in accordance with current editions of TxDOT's of TMUTCD; Traffic Signals Manual; Standard Specifications for Construction and Maintenance of Highways, Streets, and Bridges; and Traffic Signal Standards.
 - (i) Traffic signal poles shall be steel round-type following the 80-mph standard in accordance with TxDOT's current details.
 - (ii) Traffic signal poles and all appurtenances (cabinets, signs, hardware) shall be powder coated black to the City's specifications.
 - C.** Requests for alternative equipment or materials may be considered on a case-by-case basis for review by the City.
 - D.** Traffic Signal Spacing – Signal spacing is an important factor in being able to provide progressive flow for a platoon of traffic. Traffic signal spacing shall be analyzed as part of a detailed traffic study and impact analysis. Final approval of signal spacing is at the discretion of the City. Final analysis and City discretion may preclude some locations from ever being signalized.
 - E.** Equipment Placement – All equipment shall be placed within ROW or appropriate easements.
 - F.** Electrical Service Pedestals – Electrical service pedestals shall be powder coated black, 120V/240V, and meet the electric service provider's specifications.
 - G.** Number of Heads – There shall be a signal head for each through lane and right and left turn heads for any overlaps. A minimum of two (2) signal heads is required for the major movement on each approach of the signalized intersection.
 - H.** Head Mounting – All signal heads shall be mounted in the horizontal orientation to the mast arm. Nearside heads shall be mounted on the right side of the roadway if the distance between the stop bar and signal heads exceed 180 feet. If roadway curvature necessitates mounting the nearside head on the left side of the roadway, the nearside head should be mounted vertically on a signal pole.

SECTION 10. STORM DRAINAGE SYSTEMS:

POLICY

1. The following policy shall govern the design and installation of all storm drainage facilities within the City and its Extraterritorial Jurisdiction (ETJ) area.
2. The following criteria shall govern the design of storm drainage improvements within the City. Improvements shall include streets, alleys, storm drains, channels, culverts, bridges, swales and any other facilities through which stormwater flows. All storm drainage improvements shall be constructed in accordance with City Standards and be in dedicated right-of-way or drainage easements.
3. Developer Responsibility:
 - A. The Developer shall be required to install, at their own expense, all storm drainage structures. This policy is applicable to all required drainage facilities including the channel improvements on the main channels and tributaries. The Developer shall be responsible for excavation and channel liner improvements based on the full urbanized 100-year frequency discharge for the channel.

EASEMENT REQUIREMENTS FOR STORM DRAINAGE

1. Where a subdivision is traversed by a watercourse, stream, drainage way or channel, detention structure, or floodplain, a drainage easement or right-of-way shall be provided, conforming substantially with the lines of such watercourse or improved channel that is to be provided at the time of development. See *Section 14 – Easement Standards* for additional easement requirements.
2. Whenever land which is covered by a floodway designation under flood damage prevention provisions, a drainage easement or right-of-way shall be placed on the Plat covering the floodway area; and the easement or right-of-way shall allow for access, maintenance or alterations of the floodplain area by the City.

REQUIREMENTS

1. At a minimum, all developments must meet the requirements of the Texas Water Code to mitigate adverse impacts to other property owners. A drainage study of the development must be provided for review, including a downstream assessment of properties that could be impacted by the development. The “Zone of Influence” and “adequate outfall point” for the proposed development shall be identified in the study.
2. An adequate storm drainage system, consisting of inlets, pipes and other underground drainage structures with approved outlets, shall be constructed where the adequate containment of stormwater runoff and the prevention of erosion cannot be accomplished satisfactorily by surface drainage facilities in accordance with City requirements.
3. Where there is a question as to the justification of size of facilities required, doubt will be resolved in favor of additional drainage capacity.
4. Unless otherwise approved by the City, all storm drainage shall be carried in storm drainage pipe when a pipe of 60-inches, or smaller, diameter can be used to adequately convey the runoff. In the event that a 60-inch diameter pipe is inadequate to convey the runoff, an open channel drainage system may be considered as an alternate to an enclosed system. All open-channel drainage systems shall comply with the City's storm drainage design requirements and specifications.

BASIS OF DESIGN

1. **Rational Method:** The methods of calculation for storm runoff for drainage areas less than 100 acres will be the Rational Method. The method is expressed by the following equation:
 - ▶ $Q = CIA$
 - ▶ Q = storm discharge at the design point in cubic feet per second
 - ▶ C = runoff coefficient, based on land use
 - ▶ I = average rainfall intensity for the time of concentration at the design point in inches per hour (see iSWM Hydrology Technical Manual)
 - ▶ A = area contributing runoff to the point of design in acres.
2. **Unit Hydrograph Method:** Peak discharges for drainage areas 100 acres, or larger, shall be determined by using the Soil Conservation Service (SCS) unit hydrograph method. The unit hydrograph for this method shall be developed by using the United States Army Corps of Engineers HEC-HMS models. Typically a unit period of 15 minutes should be used for the determination of the unit hydrograph.
3. **Runoff coefficient:** Storm drainage improvements shall be based on the ultimate land use of the drainage areas. Table V-1 below indicates the runoff coefficients for the different land uses.

TABLE 10-1: RUNOFF COEFFICIENT “C”

Land Use	C Value
Single family or duplex zoning districts (>one acre lots)	0.45
Single family or duplex zoning districts (<one acre lots)	0.65
Two-Family Residential or Single-Family Townhomes	0.65
Multi-family districts	0.75
Commercial and Industrial Districts	0.80
Roadway and Right-of-Way	0.95
Detention Ponds	0.30
Retention Ponds	1.00

4. **Time of concentration:**

- A. The time of concentration shall be defined as the time required for a drop of water to flow from the upper limits of a drainage area to the point of concentration. Times of concentration shall be calculated for all inlets, pipe junctions, and other critical design points in the proposed storm drainage systems. Time of concentration shall be shown on the drainage area map. TR-55 shall be used to calculate time of concentration and calculations shall be provided to validate the values shown. Maximum sheet flows shall be 100 feet for undeveloped conditions and 50 feet for developed conditions. Shallow concentrated flows shall be limited until the flow regime becomes channelized. Contours will be used to verify the time of concentration and flow regimes. When calculating inlet times, consider overland flow channelized at such time when the distance traveled exceeds 50 feet.

TABLE 10-2: MINIMUM INLET TIME OF CONCENTRATION

Type of Area	Minimum Time of Concentration
Business and Commercial Industrial	10 Minutes
Single-Family Residential	15 Minutes
Multi-Family Residential	10 Minutes
Parks and Open Spaces	20 Minutes

5. **Rainfall intensity/duration/frequency:**

- A. The rainfall intensity-duration- frequency shall comply with the minimum standards of the iSWM Criteria Manual and the City’s *Unified Development Code*.

6. **Design storm frequency (see Table 10-3):**

- A. Storm frequency to be used in design shall be as shown in the following table:

TABLE 10-3: DESIGN STORM FREQUENCY

Type of Facility Storm Drains	Minimum Design Frequency
Storm drains, Driveway culverts	10 years
Street ROW (only if development is above the curb elevation), Culverts (non-driveway), Bridges, Channels, Creeks	100 years
Storm Drain Inlets at Low Points	25 years (with positive overflow), otherwise 100 years

- B. A storm drain shall be designed to convey flow from the street when the runoff from a 10-year design storm exceeds the capacity of the street to its top of curb, or the spread of water during a 25-year design storm on an arterial/collector street does not leave one traffic lane dry, whichever is more restrictive. The combined capacity of the street and right-of-way and/or drainage easements and the storm drainage pipe shall be adequate to safely convey the runoff from a 100-year

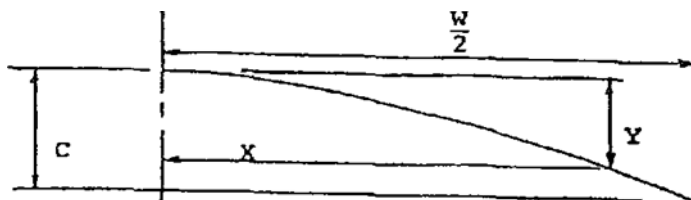
frequency storm. Bridges must provide a 2-foot freeboard to lowest part of structure from 100-year water surface.

7. **Flow in streets:** Street capacity shall be determined by utilizing Manning's equation:

$$Q = \frac{1.486 AR^{\frac{2}{3}} S^{\frac{1}{2}}}{n}$$

- ▶ Q = discharge in cubic feet per second
- ▶ n = Manning's roughness coefficient, use 0.016 for pavement and gutter
- ▶ A = cross-sectional area of flow in square feet
- ▶ R = hydraulic radius in feet (area/wetted perimeter)
- ▶ S = street or gutter slope in feet per feet

8. **For parabolic crown streets, the cross slope shall be represented by the following formula:**



$$Y = (4CX^2) / W^2$$

- ▶ All discharges of runoff from street to an open channel shall be in a flume or through an inlet adjoining pipe and headwall.

9. **Storm drain inlets:** The capacity of a depressed curb inlet on grade will be based on the following equation:

$$Q_i = 0.7 \left[\frac{1}{H_1 - H_2} \right] \left[(H_1)^{\frac{5}{2}} (H_2)^{\frac{5}{2}} \right]$$

- ▶ Q_i = discharge into inlet per foot of inlet opening in cfs./ft. (maximum allowable is 1.0 cfsft.)
- ▶ $H_1 = a + y$
- ▶ $H_2 = a$ = gutter depression in feet
- ▶ y = Depth of flow in approach gutter in feet

10. The capacity of low point or drop inlets will be (maximum allowable is 2.0 cfs/ft) determined based on the broad-crested weir formula:

$$Q_i = 3 (H_1)^{\frac{3}{2}}$$

11. **Storm drain systems:**

A. Storm drains shall be designed using the continuity equation and Manning equation:

$$Q = AV \quad \text{and} \quad Q = \frac{1.486}{n} AR^{\frac{2}{3}} S^{\frac{1}{2}}$$

$$Q = \frac{1.486}{n} AR^{\frac{2}{3}} S^{\frac{1}{2}}$$

- ▶ Q = discharge in cubic feet per second
- ▶ A = cross-sectional flow area normal to pipe in square feet
- ▶ V = mean velocity of flow in feet per second
- ▶ n = Manning's roughness coefficient
- ▶ R = hydraulic radius in feet
- ▶ S_f = friction slope in feet per foot

B. The coefficient of roughness to be used in design shall be shown below:

TABLE 10-4: ROUGHNESS COEFFICIENTS

Materials of Construction	Roughness Coefficient
Monolithic concrete structure and concrete pipe	0.015
Corrugated metal pipe	0.022
All roadways	0.015

- C. Storm drain pipes shall normally be designed so that the mean velocity of flow is between 2.5 feet per second and 15 feet per second. Pipes may be designed on a horizontal radius provided that the minimum centerline radius is equal to 30 pipe diameters and the cumulative degree on curvature does not exceed 0 degrees between points of entry. Pipes shall not be designed with vertical curves. The minimum pipe size for a main is 24 inches in diameter. The minimum pipe size for a storm drain lateral is 21 inches in diameter. If a lateral does not exceed 50 feet, an 18-inch diameter pipe may be used. Unless otherwise specified on plans, minimum strength Class III reinforced concrete pipe will be required in all new construction.
- D. The elevation of the hydraulic grade line for the main storm drain pipe system shall be sufficiently deep to allow for losses in the leads and inlets to produce an HGL elevation below grade/within the pipe considering a 10-year HGL and below the right-of-way elevation when considering the 100-year HGL. Typically, this will require the HGL in the main to be 1.5 to 2-feet below the gutter flow line. The HGL loss for inlets is given below.

(i) The head loss for each structure shall be computed as:

$$h_j = \left(\frac{v_2^2}{2g} \right) - K_j \left(\frac{v_1^2}{2g} \right)$$

- ▶ where; h_j = head loss in feet
- ▶ v_1 = inflow velocity
- ▶ v_2 = outflow velocity
- ▶ g = 32.2 ft./sec²
- ▶ K_j = head loss coefficient

(ii) *Head Loss Coefficients (K) (adjusted to proportional flow relationship between flow before and after inflow point)

- ▶ Manhole or Inlet in line – 0.50
- ▶ Manhole or Inlet with lateral – 0.25
- ▶ Lateral only – 0.75
- ▶ Enlargements or Contractions – 0.30
- ▶ h_j for beginning inlet is $\frac{1.25 (V_2)^2}{2g}$

E. Points of entry into the main storm drain (manholes or junction structures) shall be provided at least every 500 feet. For storm drain diameters exceeding 48-inches, distances greater than 500 feet may be considered on a case-by-case basis and upon approval by the City. Where the storm drain will accommodate a 36-inch diameter lateral, the inlet lateral may be considered an acceptable access point in lieu of a manhole.

12. Open Channels:

- A.** Generally, when the runoff exceeds the capacity of a 60-inch diameter concrete pipe or equivalent cross sectional pipe area, the discharge shall be carried in an open channel, unless approved otherwise by the City. Open channels shall be designed to carry the 100-year frequency storm runoff from a fully urbanized watershed with one foot of freeboard. All open channels will have concrete lined bottoms unless otherwise approved by the City. All open channels shall have a minimum bottom width of eight feet. Surface flumes shall have a minimum of six - foot bottom width. The velocity cannot exceed 6 feet per second in all open channel design.
- B.** The use of existing channels in their natural condition is encouraged. Grading or channelizing an existing wooded natural channel is permitted only with special permission.
- C.** Full concrete lined bottom:
 - (i)* All open ditches in all subdivisions that are used to carry surface runoff from more than two lots shall have concrete lined bottoms, except as otherwise approved by the City. Lining of drainage ditch floors is to be a minimum of 8-feet wide (F.F.) with 6-inch curbs each side. Concrete design shall be provided as recommended by the Geotechnical Report by a licensed professional engineer in the State of Texas. Concrete side slopes may be allowed or required in some cases if approved by the City. Concrete side slopes will be required as necessary at culverts and bridges, bends or other erodible type situations.
- D.** In certain instances for City-maintained channels, a reinforced concrete access ramp may be required for open channel access from a public street. Access ramps shall be a minimum 12-feet wide with a maximum slope of 16%.

13. Bridges and Culverts:

- A.** All bridges and culverts shall be designed in accordance with the current edition of the “Hydraulic Manual” prepared by the Texas Department of Transportation, Bridge Division. All culverts shall have headwalls and wingwalls upstream and downstream. All culverts shall pass the fully urbanized 100-year frequency storm runoff without allowing runoff to pass over the road. All bridges shall have channel bottom and slopes concrete lined. The low point on the bridge structure shall be at least 2 feet above the fully urbanized 100-year frequency storm water surface.

14. Minimum finished floor elevations shall be 2 foot above the 100-year water surface in or adjacent to floodplains of open channels based upon full filling of fringe areas and ultimate development conditions. Otherwise, minimum finished floor elevations in and adjacent to FEMA mapped floodplain areas shall be 2 feet above the BFE (base flood elevation) on map or 2 foot above the BFE after filling of fringe areas based upon a FEMA approved LOMR.

PRELIMINARY DRAINAGE ANALYSIS GUIDELINES

The purpose of a preliminary drainage analysis is to determine the need for drainage facilities and drainage easements either within the proposed development or offsite. These guidelines shall be used as the minimum requirements for a Preliminary Plat. When requested by the City, a preliminary drainage analysis shall be submitted with a replat or short form Plat. The preliminary drainage analysis shall consist of the following items:

1. A topographical map drawn at a legible scale and depicting the watershed which drains to and across the subdivision. The map must include the subdivision and an area extending for 200 feet in all directions from the proposed subdivision as a minimum. The map must also include contour lines as required. LiDAR contours are available on TNRIS Data Hub and may be used unless more accurate data is available.
2. The topographical map shall:
 - A.** indicate any offsite or adjoining areas outside the limits of the area being platted which are relevant to onsite drainage.
 - B.** show any proposed or existing drainage and utility easements, water bodies, streams and railroads, parks, cemeteries, and drainage ditches.

- C. show location of existing utilities including gas and petroleum lines, electric, telephone and television cable, and location of any existing structures located within the area being proposed for subdivision.
3. The datum for all topography shall be that of the United States Coast and Geodetic Survey or the City of Aledo datum. The preliminary analysis shall be sealed by a professional engineer licensed by the State of Texas.
4. Calculation of the drainage areas, time of concentration, a storm water runoff rate for the 10 and 100-year frequency storms.
5. Identification of ultimate floodplain and special flood hazard areas as defined by the current Flood Insurance Rate Map

DRAINAGE STUDY GUIDELINES

A drainage study is required in all cases for the area being developed unless determined to be unnecessary by the City. The following criteria shall be used for the developer's engineer to prepare a drainage study.

1. The study shall analyze the effect of the development to both upstream and downstream watershed components and ensure no adverse impacts. The study shall be sufficient to verify compliance with previously mentioned criteria.
2. The study shall include a topographical map as defined above.
3. Delineation and calculation of drainage areas, together with proposed flow arrows, shall represent flow patterns from runoff after all proposed improvements have been installed. Surface water drainage patterns shall be shown for the private property portion of the proposed subdivision and for public and private property adjacent to the proposed development. Contours must be provided for all off-site and adjacent properties to support delineation areas.
4. Calculations shall include providing parameters and assumptions for the Rational Method, time of concentrations, HEC-HMS assumptions/results, HEC-RAS assumptions/results, cross sections, Manning's equations/results, HGL spreadsheets, rational calculation tables for drainage areas, detention pond calculations (Modified Rational), all calculations required for the downstream assessment, etc. No adverse impacts shall include, at a minimum: no more than a 0.1 foot rise in 100-year water surface elevation, no more than a 5% increase in channel velocity for the 100-year design storm, no increase on existing flooding structures, private property, or roadways, and a 0.0 feet rise for any work in the floodway. Post-development channel velocities cannot be increased by more than 5% above pre-development velocities.
5. The study shall include a pre-development versus post-development runoff analysis and a stormwater runoff routing analysis designed to predict the post-development runoff rate and the downstream drainage system ability to accommodate post development runoff. Existing and Ultimate conditions for the watershed shall be considered. A comparison table shall be provided to compare the pre-developed and post-developed conditions (flow rates, velocity, and depth) of each design point. Overflow paths shall be indicated in the study.
6. *Accommodation of upstream drainage areas:* A culvert, or other drainage facility, shall in each case be large enough to accommodate potential runoff from its entire upstream drainage area, whether inside or outside the subdivision or development in a fully developed condition without detention facilities, unless otherwise directed by the City. There are some watersheds that have been identified to be flood-prone areas and upstream conditions shall be limited to 'existing conditions' (future upstream detention will be required). The developer's engineer shall initially determine the necessary size of the facility, based on the provisions of the construction standards and specifications assuming conditions of maximum potential watershed development permitted by the zoning regulations, subject to approval by the City.
7. *Effect on downstream drainage areas:* The stormwater discharge from the development shall not cause adverse impacts to adjacent or downstream properties or facilities. To establish the zone of influence from a proposed development and to determine the impacts to the downstream properties or facilities, a downstream assessment is required. The developer's engineer, subject to approval by the City, shall study the effect of each development's storm runoff on the existing underground drainage facilities immediately downstream of the development. Where it is determined, existing capacity is not available immediately

downstream, the developer's engineer shall design a drainage system, detention facility, or parallel system to mitigate the deficiency. The City may require the design to include other 'regional detention ponds' to be modeled and included with the drainage study.

8. In addition to those calculations required by the preliminary drainage analysis, this study shall also include:
 - A. Hydraulic calculations to each lateral, manhole, inlet and outlet structure on the pipe.
 - B. Inlet calculations utilizing the minimum time of concentration for the land use is contributing the largest "CA" to the inlet.
9. If any portion of the proposed development or its offsite improvements (including pipes and ditches) fall within the limits of a FEMA floodplain, additional backwater calculations may be required. Additional calculations in the form of a Conditional Letter of Map Revision (CLOMR) may be required if the subdivision includes work within a FEMA floodplain area depending upon how extensive the proposed work may be. Any development within FEMA Zone A designated areas shall be studied to establish elevations for the reach. The Zone A designated shall be submitted to FEMA to change to a Zone AE designation. The study shall extend to the current limits of Study or at the direction of the City. The City may allow for an alternate method of determining the 100-year ultimate floodplain boundary for special cases such as a single residential unit on a large parcel. A floodplain study may be required unless the calculations demonstrate no adverse impacts (as defined above) will be created, or permission, in writing, has been provided from the impacted downstream property owner.
10. Where a CLOMR is required prior to performing work in the floodplain, a Letter of Map Revision (LOMR) will be required prior to issuing building permits. Refer to the City's *Unified Development Code*.
11. The drainage study shall be sealed by a professional engineer licensed in the State of Texas.

FACILITY REQUIREMENTS.

1. All drainage facilities shall be constructed on public rights-of-way or easements dedicated for that purpose. Drainage easements or rights-of-way shall be of sufficient size to permit for maintenance of the drainage facility.
2. The City may require a Developer to construct any storm drainage facility, or to require studies or elevation certification when in the judgement of the City, the facility, study or elevation certification is needed for the proper and orderly development of the area or to verify adequacy of drainage provisions for the area. In general, all drainage systems shall provide 100-year storm frequency capacity. A drainage system includes a street right-of-way, drainage channel or enclosed system considered in combination. A local street shall normally provide a minimum 10-year storm frequency capacity within curbs. A thoroughfare shall normally provide a clear lane in each direction when considered on a 10-year frequency capacity basis.

OFF-SITE DRAINAGE

1. The Developer of the property shall be responsible for accepting all fully developed storm drainage flowing onto his/her property. This responsibility shall include the drainage directed onto the property by prior development, as well as drainage flowing through the property by reason of natural and man-made topography.
2. Adequate consideration shall be given by the Developer to determine how the discharge, leaving the proposed development, will affect downstream property. Generally, new sites will be required to provide on-site detention for increased runoff on a 10- and 100-year frequency. Exceptions may be allowed by the City for small sites (one acre or less) or in other cases where no obvious detrimental effects are perceived.
3. When a proposed development requires off-site grading or includes areas of two or more acres where stormwater has been collected, diverted or concentrated, whether by permanent drainage systems, site or street improvements, it shall only be permitted to drain onto adjacent property through existing creeks, channels, storm drainage, or other street improvements, if the following is provided:
 - A. For proposed developments within the City:

- (i) Proper drainage easements; or
 - (ii) If unable to acquire the necessary off-site easements, the Developer shall provide the City with documentation of efforts made to obtain easements. The documentation shall include evidence of a reasonable offer made to the affected property owner(s). Upon a written request for assistance, the City may attempt to acquire easements through negotiations. If negotiations are unsuccessful, the request may, at the Developer's option, be submitted to the City Council for consideration of acquisition through the eminent domain powers of the City. In either case, the total cost of the acquisition and the cost of the easements shall be borne by the Developer.
 - (iii) In certain unique circumstances where the development is part of long-term development plan where easement locations/sizes may change in the future depending on the development of the property, off-site easements may not be required if the Developer obtains written permission from the impacted property owner(s) and releases the City as part of Hold Harmless agreement.
4. The Developer is responsible for constructing all off-site channelization or underground storm drain with overland relief required to discharge concentrated storm water from the low end of his development to the recognized watercourse, and also to obtain all the necessary easements from intervening land owners. Calculations will be required to show that connecting off-site drainage ways are capable of handling any increase in runoff due to development, concentration or diversion.
 5. Any drainage easements necessary due to the Developer's alteration of existing concentrated discharge locations (i.e., existing creeks, channels, or storm drainage) shall be acquired by the Developer at no cost to the City.

SECTION 11. STREET LIGHT INSTALLATION

GENERAL

1. Refer to the City's *Unified Development Code* for additional requirements.
2. The City will be responsible for requesting normal, overhead metal pole street lighting from the applicable electric utility company at the request of the Developer by the time the work pursuant to the community facilities agreement has been completed and accepted. Any extra or special designed street lighting will be by contract between the Developer and the applicable utility company with written approval of the City, i.e., ornamental poles, etc. street lighting installation must be completed prior to the issuance of any certificates of occupancy.
3. All street-lighting installation shall be in accordance with the following requirements and design criteria:
 - A. A light shall be placed at each street intersection when the block is less than 600 feet in length unless deemed not necessary by the City.
 - B. A light shall be installed at each intersection and any other location required by the City when a block is more than 600 feet long.
 - C. A light shall be installed at the end of a cul-de-sac except if the cul-de-sac is less than 250 feet from a streetlight at an intersection.
 - D. Lamp type and lumen requirements shall be in accordance with the City's *Unified Development Code*.
 - E. Poles – Poles shall be 30-foot-tall round, galvanized steel poles for Arterial streets and 25-foot-tall round, galvanized steel poles for Collector and Local Residential streets.
 - F. Spacing – Streetlights shall be spaced normally at 140-foot intervals, but not further apart than 180 feet for Arterial streets. Streetlights shall be spaced no further apart than 500 feet along tangent sections streets and shall be placed along horizontal curves where the road centerline changes by 30-degress or more.
 - G. Service wires shall be underground.
 - H. It is required for the Developer's engineer to provide a street light plan in the public improvement plans.

SECTION 12. FRANCHISE UTILITY INSTALLATION

GENERAL

1. Refer to the City's *Unified Development Code* for additional requirements.
2. All electric, telecommunications, and cable television utility lateral and service lines shall be placed underground and in dedicated easements throughout new residential subdivisions in accordance with the City's *Unified Development Code* and subject to the following conditions:
 - A. All electrical transmission lines, meaning those electrical lines operated at normal voltages of 60,000 volts or higher, may be placed overhead.
 - B. Any feeder lines, meaning those lines that emanate from substations or hubs for distribution throughout an area, may be placed overhead.
 - C. Lateral utility/service lines, meaning those lines that emanate from feeder lines and are used for distribution to smaller areas of consumers, must be placed underground in the interior of all residential subdivisions. Lateral lines may be placed overhead in non-residential developments upon approval by the City Council. The Plat shall provide that utility/service companies shall have the right of ingress and egress to perform maintenance on their lines.
 - D. Underground utilities, or adequate underground utility conduit located in or crossing streets shall be placed under or across all streets after the rough grades are made, but prior to the paving being placed. Paving operations will not be allowed to start until all underground utility work is completed and accepted by the City. Otherwise, underground utilities may cross streets only by boring without open cutting of pavement.
 - E. The electrical utility company may plan and construct necessary overhead utility lines on perimeters of subdivisions or property subject to the provisions of this section. Telecommunications and cable television lines may be constructed overhead only where overhead electric utility lines are permitted.
 - F. The City shall not be held financially responsible for any portion of the additional cost to the Developer for underground utility service lines or service connections.
 - G. All electrical, telecommunications, and cable television support equipment (transformers, amplifiers, switching devices, etc.) necessary for underground installation shall be pad-mounted (except for common above ground buried telecommunications line closures/risers) or placed underground.
 - H. The provisions of this section do not alter the requirements of any utility service company franchise agreement in effect on the effective date of this Section.

SECTION 13. LOT STANDARDS

GENERAL

1. Refer to the City's *Unified Development Code* for additional requirements.
2. The dimensions of a lot shall be appropriate for the location of the subdivision and for the type of development and use contemplated and in the case of lots located within the City shall not be less than those specified as minimum standards by the zoning ordinance.
3. Depth and width of properties reserved or laid out for commercial and industrial purposes shall meet the requirements of the City's *Unified Development Code*.
4. Each lot shall front upon a public or private street or public or private easement.
5. Residential lots shall not have direct access onto thoroughfare or arterial streets; and shall be permitted on collector streets only where design conditions do not allow for any other possibility.
6. Double frontage and reverse frontage lots shall be avoided, except where essential to provide separation of residential development from traffic arteries or to overcome specific disadvantages of topography and orientation.

7. Side lots lines shall be substantially at right angles or radial to street lines, unless other arrangements are approved by the City.
8. Where the area is divided into lots that are larger than necessary for normal urban building sites, and, in opinion of the City, any or all of the tracts are susceptible to being re-subdivided, the original subdivision shall be designed to permit the alignment of future street dedications to conform to the general street layout in the surrounding area, and so that the larger tracts may be later subdivided in conformance with the requirements of this Ordinance and in the case of lots located within the City, the minimum standards specified by the zoning ordinance and the City's *Unified Development Code*.
9. The shorter dimension across a residential lot, adjacent to a street, shall designate the front yard orientation of the lot, unless otherwise specified on the face of the Plat.

SECTION 14. EASEMENT STANDARDS

GENERAL

1. All easements and rights-of-way required to serve the project shall be provided to the City at Developer's cost. If a Developer is unable to obtain an off-site easement/right-of-way, the City may exercise its right of eminent domain; but all costs incurred shall be borne by the Developer.
2. Utility easements shall be provided as may be necessary to assure the proper design, installation and maintenance of either underground or aerial utilities.
3. Interior water, sewer and drainage easements shall fall entirely on one lot and future fence construction may not encroach within that easement except for cross fencing with gates if approved by the City.
4. Any public utility, including the City, shall have the right to move and keep moved all or part of any building, fences, trees shrubs, other growths or improvements which in any way endanger or interfere with the construction, maintenance or efficiency of its respective system or any of the easements shown on the Plat.
5. Any public utility, including the City, shall have the right at all times, of ingress and egress upon easements for the purpose of construction, reconstruction, inspection, patrolling, maintaining and adding to or removing all or part of its respective systems, without the necessity of procuring the permission of anyone.
6. Emergency access easements shall be provided where deemed appropriate by the City and shall comply with all the requirements of the City's adopted *Fire Code* and City's *Unified Development Code*. These easements shall be paved in conformance with City standards.
7. When the City finds that easements or rights-of-way in areas adjoining proposed subdivisions are necessary to provide adequate drainage or to serve the subdivisions with utilities, the Developer shall have the responsibility for obtaining the easements or rights-of-way.
8. Public water mains, sanitary sewer mains, or storm drains adjacent to federal, state, or county right-of-way shall be constructed outside the right-of-way in a separate easement or by Plat for new developments in accordance with the City's *Unified Development Code*.
9. *Vertical Clearance*. All easements shall provide sufficient vertical clearance for normal maintenance. No roof overhang or other appurtenant construction such as (but limited to) construction associated with an adjacent building shall encroach into or over the easement.
10. *Centered Mains*. All water mains, sanitary sewer mains, and/or storm drains within a dedicated easement are required to be centered within the easement unless otherwise approved by the City.
11. *Minimum Width*. Minimum widths for easements are shown in **Table 14-1** below.
 - A. Should design of the main(s) require a depth greater than 10 feet to the top of the main, an increased easement width may be required to allow for proper maintenance by the City. This will be evaluated on a case-by-case basis by the City.

TABLE 14-1: MINIMUM EASEMENT WIDTHS FOR MAINS

Main Type	Main Size	Easement Width
Water Mains	12-inch or less (adjacent to City ROW)	10'
	12-inch or less	15'
	Larger than 12-inch	20' or larger (determined on a case-by-case basis)
Sanitary Sewer Mains/ Force Mains	15-inch or less (adjacent to City ROW)	10'
	15-inch or less	15'
	Larger than 15-inch	20' or larger (determined on a case-by-case basis)
Storm Drainage	36-inch or less (adjacent to City ROW)	10'
	36-inch or less	15'
	Larger than 36-inch	20'
	Floodplain/Detention Ponds	Varies (must contain 100-year design storm)
	Open Channels	Varies (must contain 100-year design storm plus one foot of freeboard and a minimum 12-foot flat shelf for maintenance access)

SECTION 15. STANDARD CONSTRUCTION DETAILS

PAVING STANDARD DETAILS

- P-01 Major & Minor Arterial Street Section
- P-02 Major & Minor Collector Street Section
- P-03 Reinforced Concrete Local Residential Street Section
- P-04 HMAC Local Street Section
- P-05 Rural Local Street Section
- P-06 Pavement Construction Specification
- P-07 Pavement Intersection Joint Spacing
- P-08 Reinforced Concrete Joint Details
- P-09 Reinforced Concrete Paving Joint Sealants
- P-10 Standard Curb and Gutter
- P-11 Concrete Sidewalk with Parkway
- P-12 Curb Ramp Detail
- P-13 Residential Driveway
- P-14 Commercial-Industrial Driveway
- P-15 Valley Gutter
- P-16 Road Closed Barricade Typical Installation

SANITARY SEWER STANDARD DETAILS

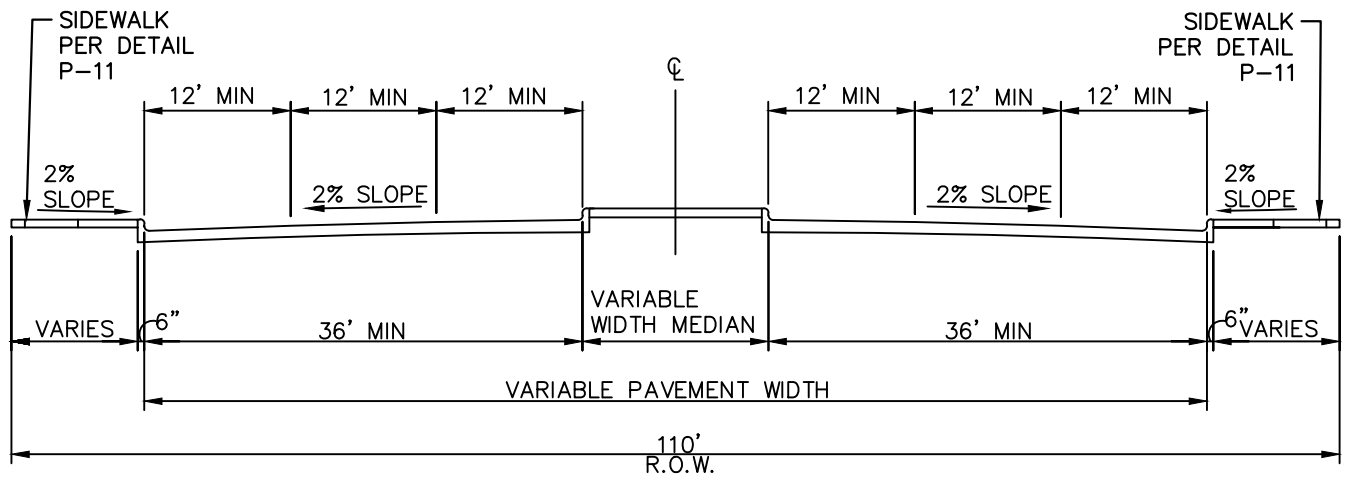
- SS-01 Sanitary Sewer Service
- SS-02 Sanitary Sewer Embedment
- SS-03 Manhole Cast-In-Place & Precast

STORM DRAIN STANDARD DETAILS

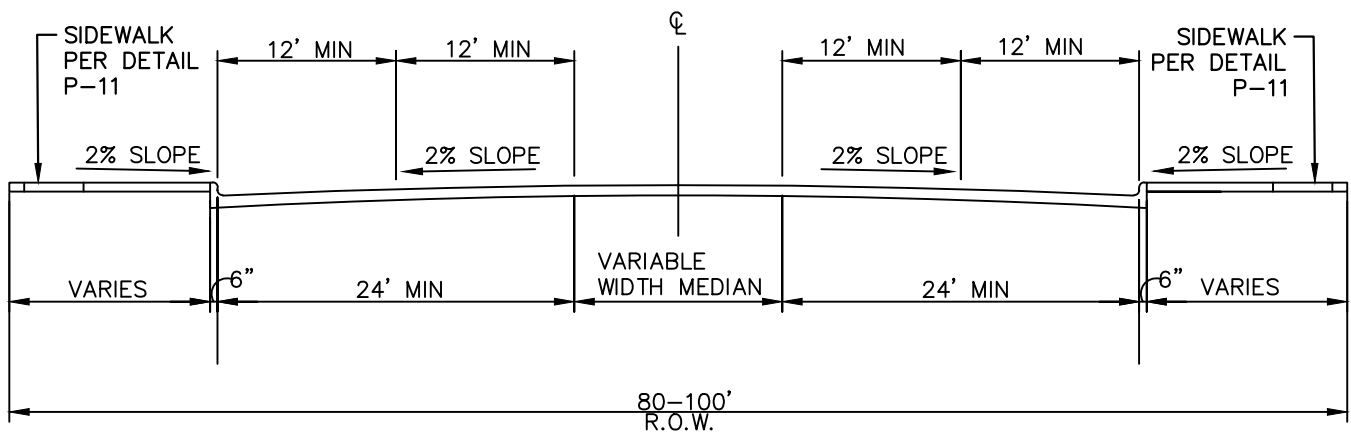
- SD-01 Storm Drain Embedment (1 of 3)
- SD-02 Storm Drain Embedment (2 of 3)
- SD-03 Storm Drain Embedment (3 of 3)
- SD-04 Standard Storm Drain Curb Inlet
- SD-05 Standard Curb Inlet Throat
- SD-06 Recessed Curb Inlet
- SD-07 Recessed Curb Inlet Throat
- SD-08 Center Support Beam for Inlets
- SD-09 Standard 4-Foot Square Storm Drain Manhole
- SD-10 Manhole Frame & Cover
- SD-11 Standard Drop Inlet

WATER STANDARD DETAILS

- W-01 1-inch Water Service
- W-02 1.5 & 2-inch Water Service
- W-03 Water Main Embedment
- W-04 Fire Hydrant Installation
- W-05 Horizontal Thrust Blocking
- W-06 Water Valve and Box Installation



MAJOR ARTERIAL



MINOR ARTERIAL

- NOTES:
 1. SEE P-06 FOR STREET CONSTRUCTION SPECIFICATIONS
 2. NOT TO SCALE



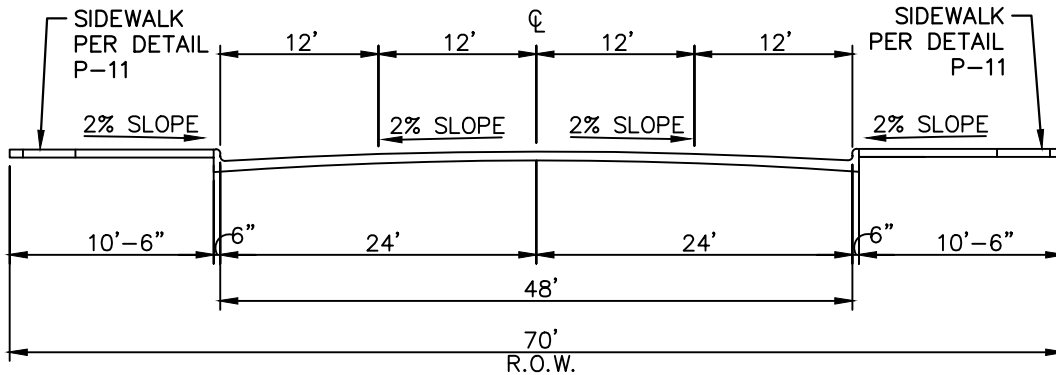
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City of Aledo
Construction Standards

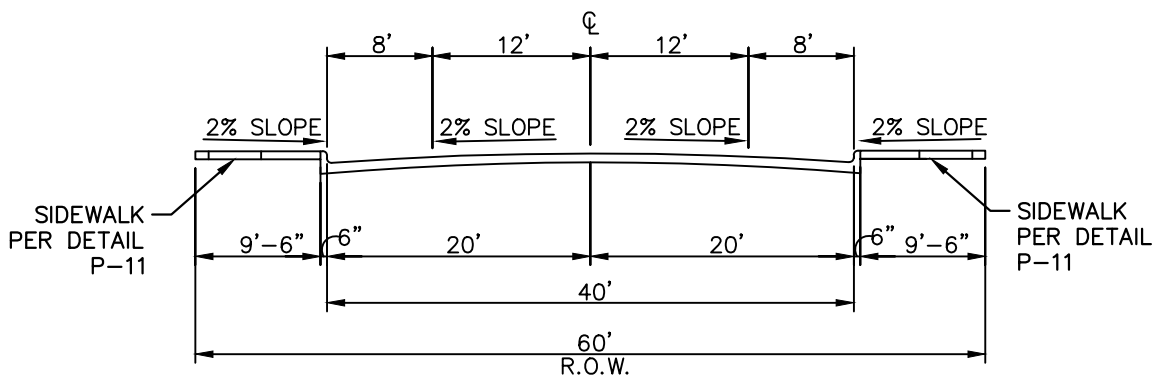
MAJOR & MINOR ARTERIAL
 STREET SECTION

REVISED
 APR. 2026

P-01



MAJOR COLLECTOR

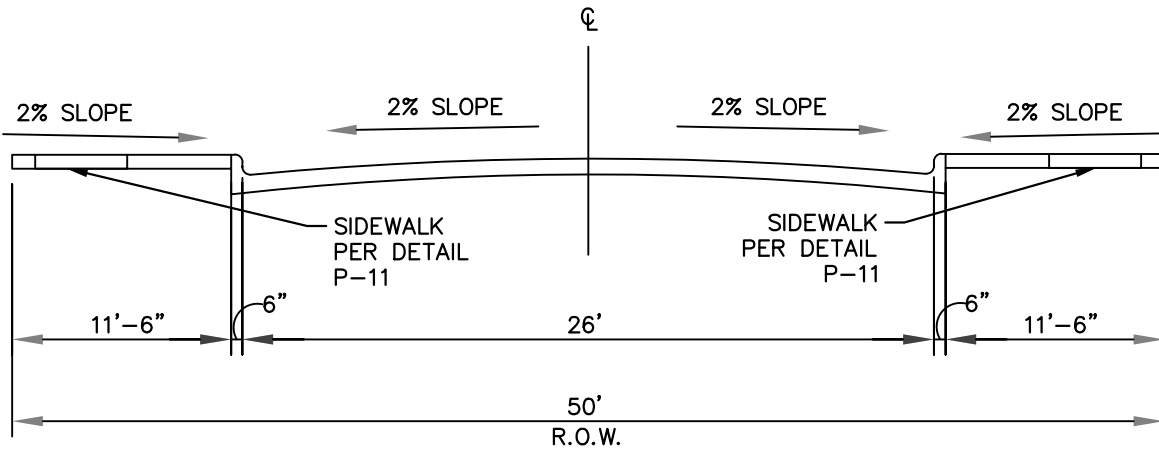


MINOR COLLECTOR

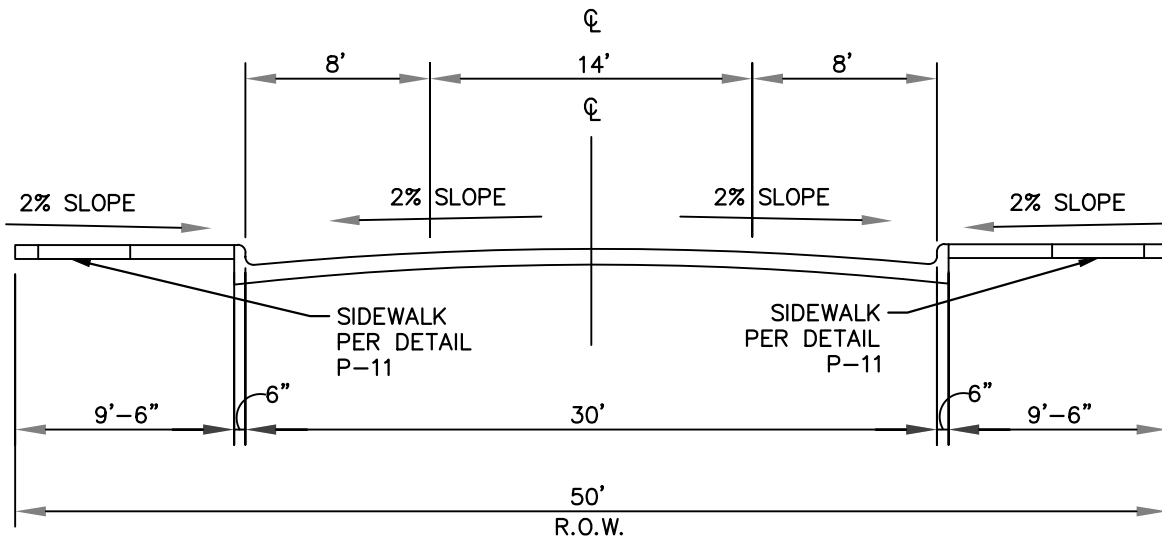
NOTES:

1. SEE P-06 FOR STREET CONSTRUCTION SPECIFICATIONS
2. NOT TO SCALE





LOCAL RESIDENTIAL A

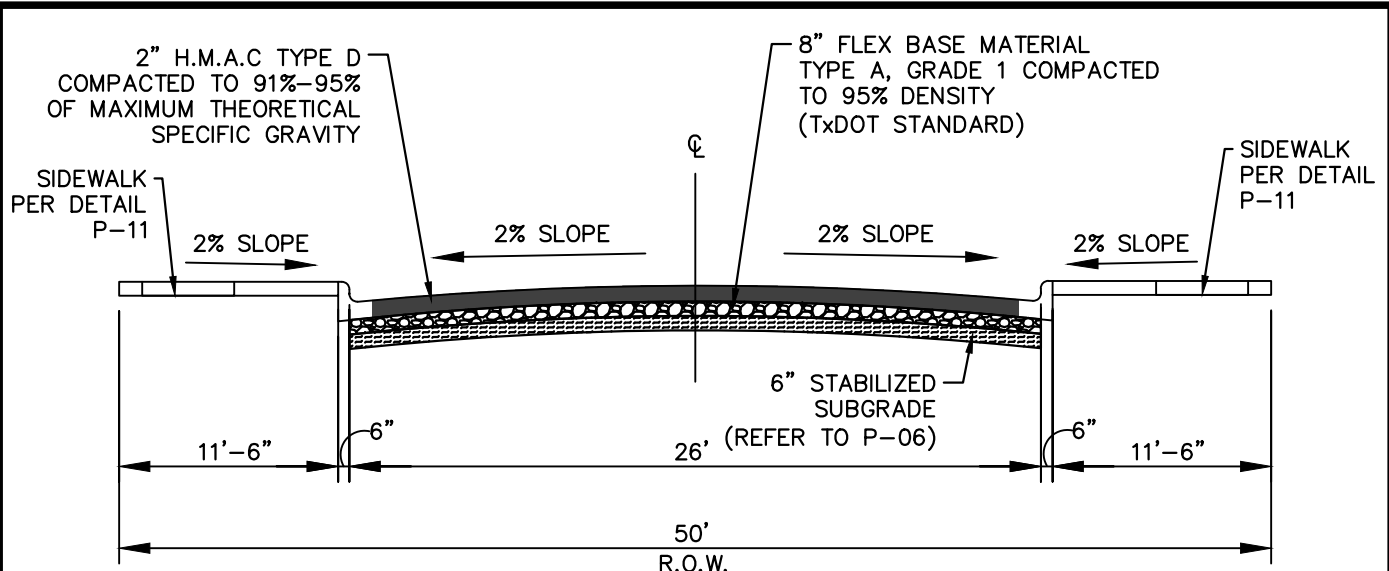


LOCAL RESIDENTIAL B

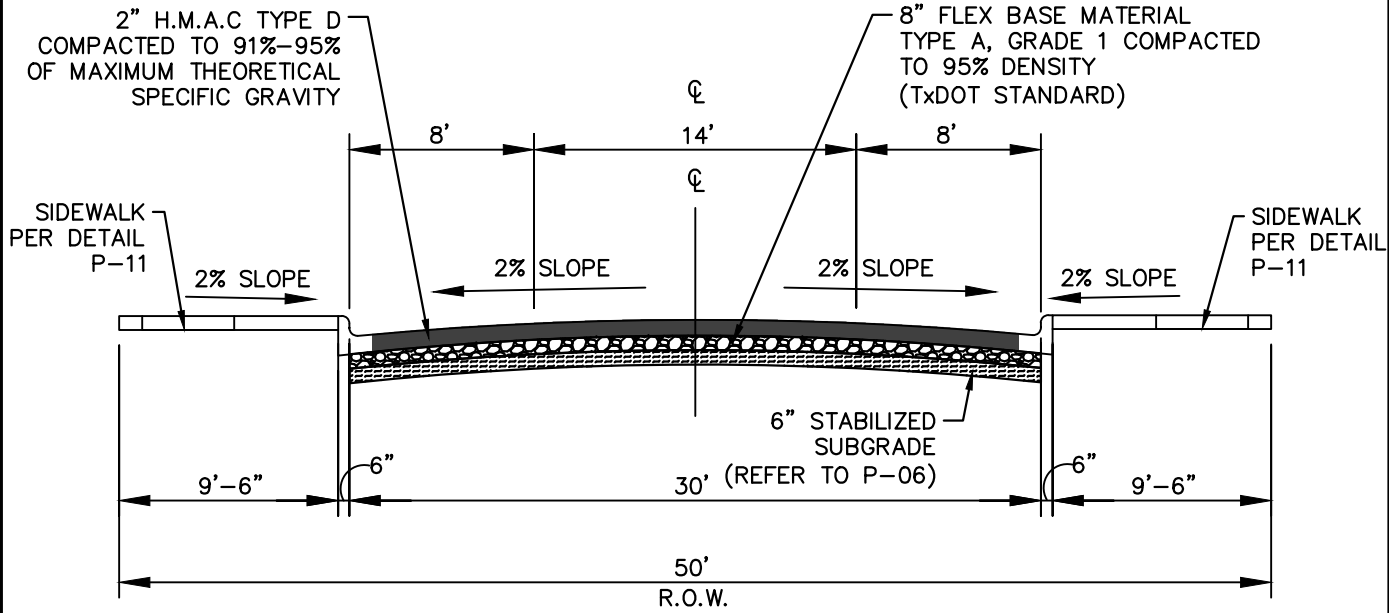
NOTES:

1. SEE P-06 FOR STREET CONSTRUCTION SPECIFICATIONS
2. NOT TO SCALE



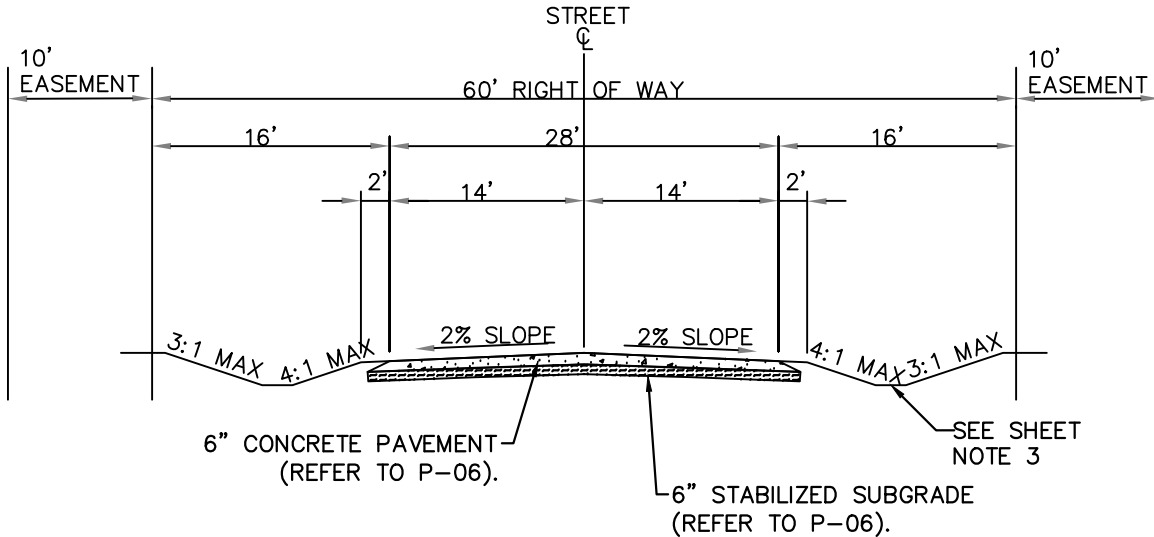


LOCAL RESIDENTIAL A



LOCAL RESIDENTIAL B

- NOTES:
1. SEE P-06 FOR STREET CONSTRUCTION SPECIFICATIONS
 2. NOT TO SCALE



RURAL LOCAL SECTION

NOTES:

1. TYPICAL DITCH SECTION – ACTUAL DRAINAGE CHANNEL DITCH SHALL BE DESIGNED TO MEET CURRENT CITY STORM WATER DESIGN MANUAL REQUIREMENTS.
2. ADDITIONAL RIGHT-OF-WAY AND/OR EASEMENTS MAY BE REQUIRED TO ACCOMMODATE DRAINAGE DITCH DESIGN.
3. DRAINAGE DITCH SIDE SLOPES SHALL NOT BE STEEPER THAN 4:1 ON THE FRONT SLOPE AND 3:1 ON THE BACK SLOPE WITHOUT SPECIAL CONSIDERATION. DITCHES PROPOSED STEEPER THAN 3:1 SHALL BE CONSTRUCTED FOR SLOPE STABILITY BASED ON A DESIGN AND GEOTECHNICAL REPORT PREPARED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF TEXAS.
4. DRAINAGE DITCHES SHALL BE FULLY STABILIZED WITH ALL PROPOSED DESIGN MEASURES, INCLUDING VEGETATION, PRIOR TO DEVELOPMENT ACCEPTANCE.
5. GRASS-LINED DRAINAGE DITCHES SHALL HAVE A MAXIMUM DESIGN VELOCITY OF 6.0 FEET PER SECOND (FT/S) AND THE GRADE OF THE SLOPE SHALL MATCH THE STREET.
6. DRAINAGE DITCHES DESIGNED WITH VELOCITIES EXCEEDING 6.0 FT/S SHALL REQUIRE EROSION CONTROL COUNTERMEASURES APPROVED BY PUBLIC WORKS. MAXIMUM VELOCITY ALLOWED IS 10 FT/S.
7. DRIVEWAY DRAINAGE CULVERT SIZES, MATERIAL, AND PROPOSED END TREATMENTS SHALL BE REFERENCED ON THE DEVELOPMENT DRAINAGE PLAN FOR EACH LOT AND SUBMITTED FOR APPROVAL TO PUBLIC WORKS. SAFETY END TREATMENTS OR CONCRETE HEADWALLS ARE REQUIRED BOTH UPSTREAM AND DOWNSTREAM OF ALL DRIVEWAY CULVERTS.
8. DRAINAGE CULVERTS UNDER ALL ROADWAYS SHALL BE CLASS III REINFORCED CONCRETE PIPE (RCP), CORRUGATED METAL PIPE (CMP), OR HDPE WITH CONCRETE HEADWALLS UPSTREAM AND DOWNSTREAM. CONCRETE RIP-RAP SHALL BE INSTALLED UPSTREAM OF THE DRAINAGE STRUCTURE. WHERE ADEQUATE COVER IS NOT AVAILABLE OVER PROPOSED RCP, CLASS IV RCP WILL BE REQUIRED FOR TPW APPROVAL
9. ALL APPLICABLE TEMPORARY EROSION CONTROLS, TO INCLUDE SILT FENCE AND INLET PROTECTION, SHALL BE IN PLACE AS SHOWN IN APPROVED DESIGN DRAWINGS BEFORE CONSTRUCTION CAN COMMENCE.
10. NOT TO SCALE.

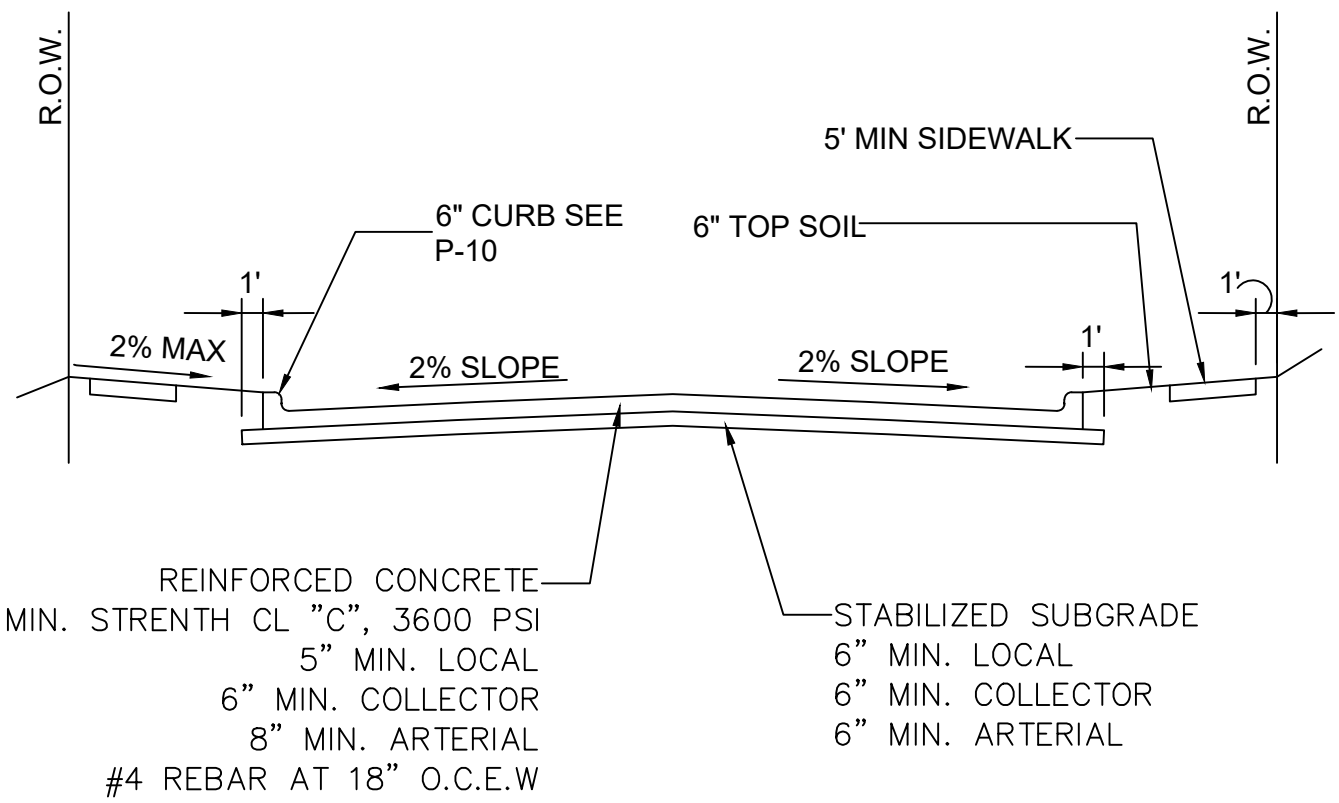


City of Aledo
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ALEDO Construction Standards

RURAL LOCAL STREET
SECTION

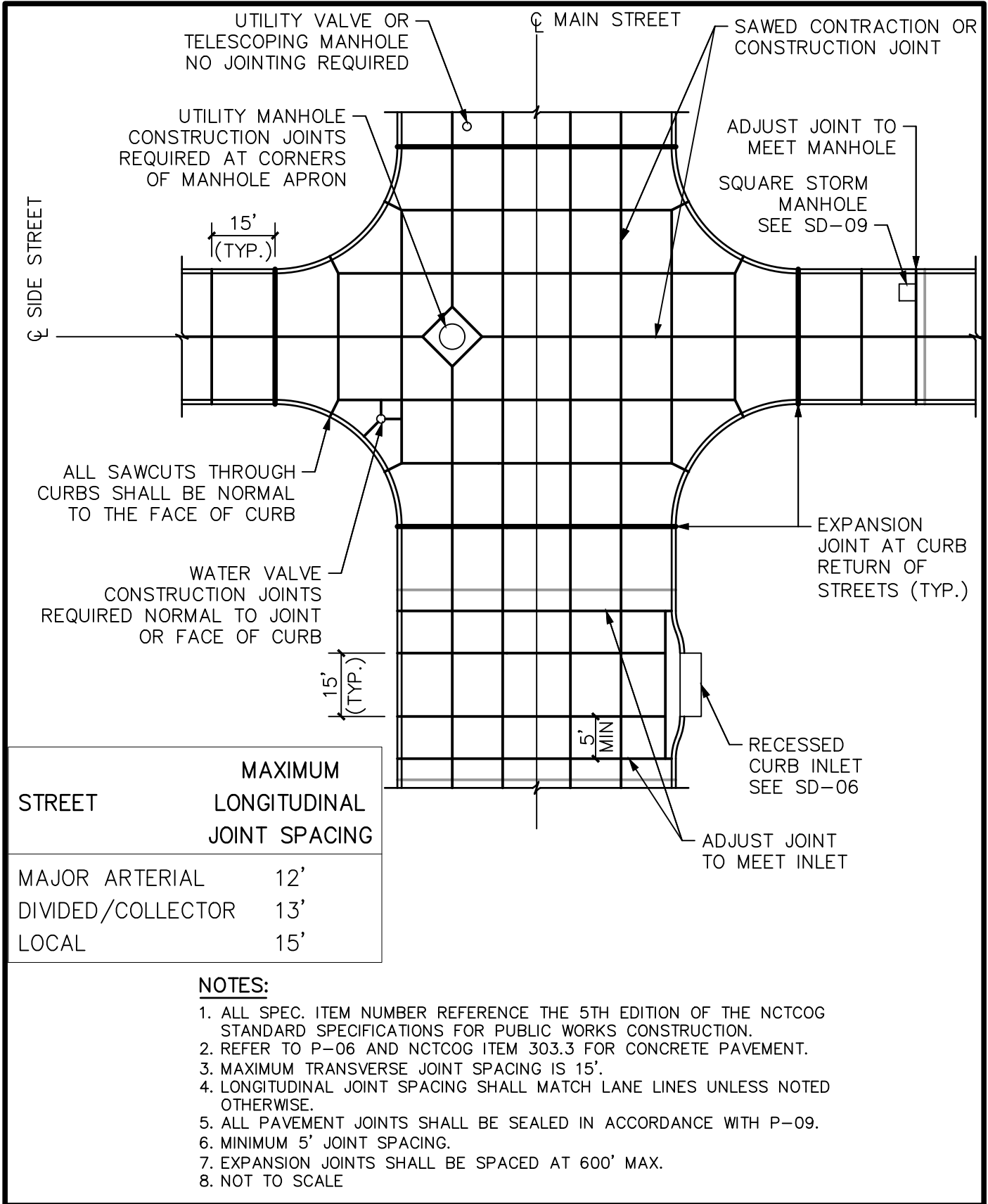
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P-05



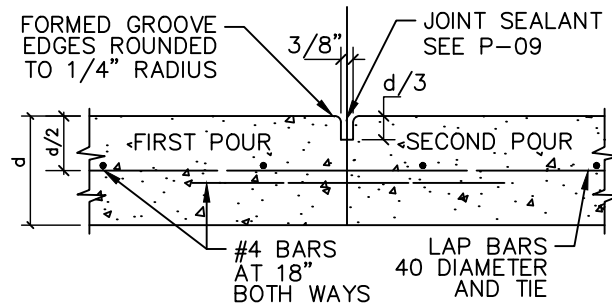
NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ALEDO DESIGN STANDARDS MANUAL AND THE MOST CURRENT EDITION OF THE "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION NORTH CENTRAL TEXAS" HERIN REFERRED TO AS "N.C.T.C.O.G."
2. A GEOTECHNICAL REPORT SHALL BE PROVIDED FOR SUBGRADE DESIGN. THE GEOTECHNICAL REPORT SHALL BE A RECOMMENDATION ONLY TO DETERMINE IF ANY ADDITIONAL SOIL STABILIZATION IS REQUIRED. REGARDLESS OF THE PAVEMENT TYPE TO BE CONSTRUCTED. ALL SUBBASE MATERIALS SHALL BE MODIFIED BY EITHER LIME STABILIZATION OR CEMENT STABILIZATION PER MINIMUM REQUIREMENTS AS SPECIFIED. THE CITY SHALL APPROVE RECOMMENDED SUBGRADE.
3. LIME STABILIZED SUBGRADE IS REQUIRED WHEN $PI \geq 15$ AT 6% BY WEIGHT (27LBS/SY MIN.)
4. PORTLAND CEMENT STABILIZED SUBGRADE IS REQUIRED WHEN $PI < 15$ AT 5% BY WEIGHT (26LBS/SY MIN.)
5. CONCRETE PAVEMENT SHALL BE MACHINE PLACED EITHER BY MECHANICAL VIBRATORY SCREED OR SLIP FORM PAVER UNLESS OTHERWISE APPROVED BY CITY.
6. PAVEMENT IMPROVEMENTS ADJACENT TO EXISTING CITY STREETS MAY REQUIRE ALTERNATE PAVING DESIGN AS APPROVED BY THE CITY PRIOR TO CONSTRUCTION.
7. VARIATIONS FROM THIS DETAIL ARE NOT ALLOWED UNLESS APPROVED BY THE CITY.
8. NOT TO SCALE

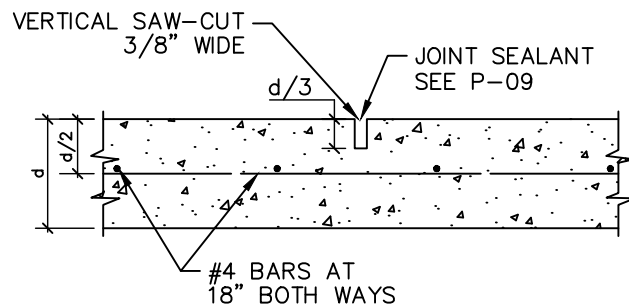


STREET	MAXIMUM LONGITUDINAL JOINT SPACING
MAJOR ARTERIAL	12'
DIVIDED/COLLECTOR	13'
LOCAL	15'

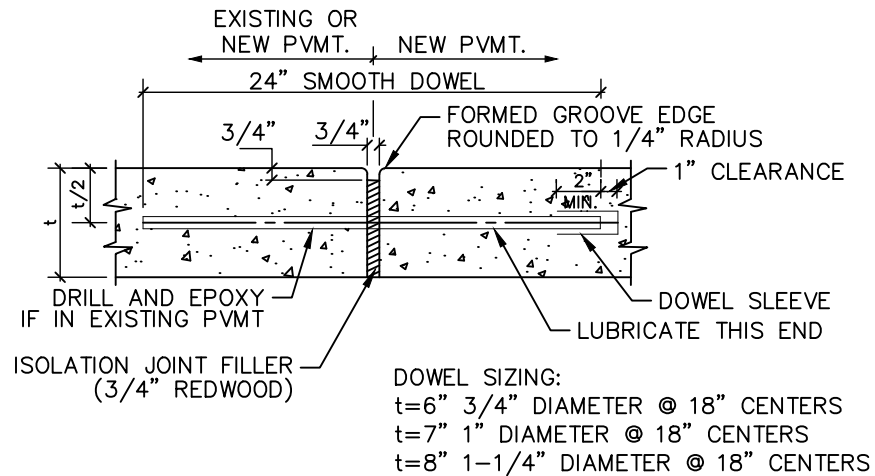
- NOTES:**
1. ALL SPEC. ITEM NUMBER REFERENCE THE 5TH EDITION OF THE NCTCOG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 2. REFER TO P-06 AND NCTCOG ITEM 303.3 FOR CONCRETE PAVEMENT.
 3. MAXIMUM TRANSVERSE JOINT SPACING IS 15'.
 4. LONGITUDINAL JOINT SPACING SHALL MATCH LANE LINES UNLESS NOTED OTHERWISE.
 5. ALL PAVEMENT JOINTS SHALL BE SEALED IN ACCORDANCE WITH P-09.
 6. MINIMUM 5' JOINT SPACING.
 7. EXPANSION JOINTS SHALL BE SPACED AT 600' MAX.
 8. NOT TO SCALE



TRANSVERSE OR LONGITUDINAL
CONSTRUCTION JOINT



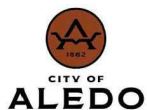
TRANSVERSE OR LONGITUDINAL
SAWED CONSTRUCTION JOINT



EXPANSION JOINT

NOTES:

1. ALL SPEC. ITEM NUMBER REFERENCES SHALL REFERENCE THE 5TH EDITION OF THE NCTCOG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
2. ALL ISOLATION JOINTS SHALL EXTEND THROUGH THE CURB SECTION.
3. THE SAW-CUT OF ALL TRANSVERSE CONTRACTION JOINTS SHALL EXTEND THROUGH THE CURB SECTION.
4. AT ALL TRANSVERSE CONSTRUCTION JOINTS THE CURB SECTION SHALL BE SAW-CUT.
5. APPROVED DOWEL SUPPORT BASKET SHALL BE PROVIDED TO ENSURE SPECIFIED DEPTH AND ORIENTATION FOR EXPANSION JOINTS.
6. EXPANSION JOINTS SHALL BE SPACED AT 600' MAX.
7. NOT TO SCALE

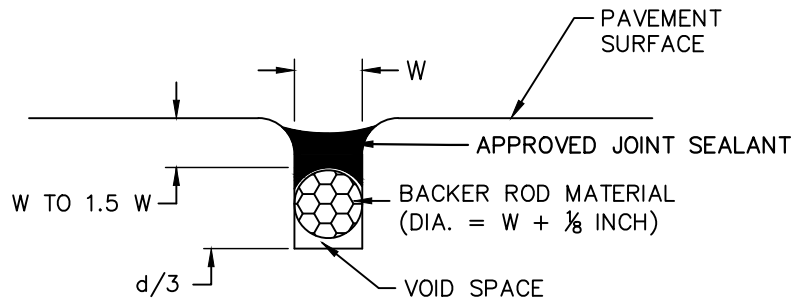


City of Aledo
Construction Standards

REINFORCED CONCRETE
JOINT DETAILS

REVISED
APR. 2026

P-08

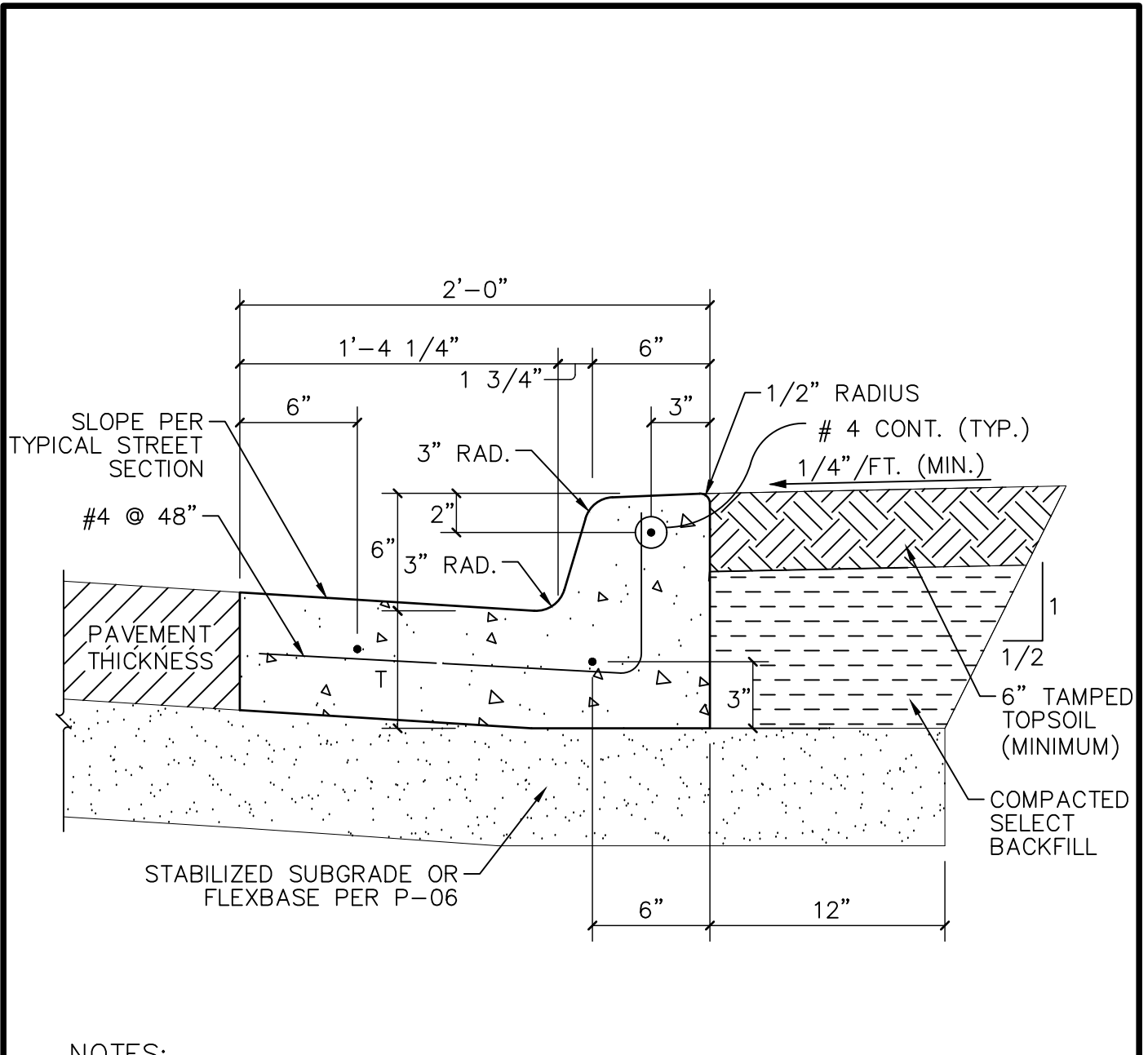


SILICONE JOINT SEALANT (COLD POUR)

NOTES:

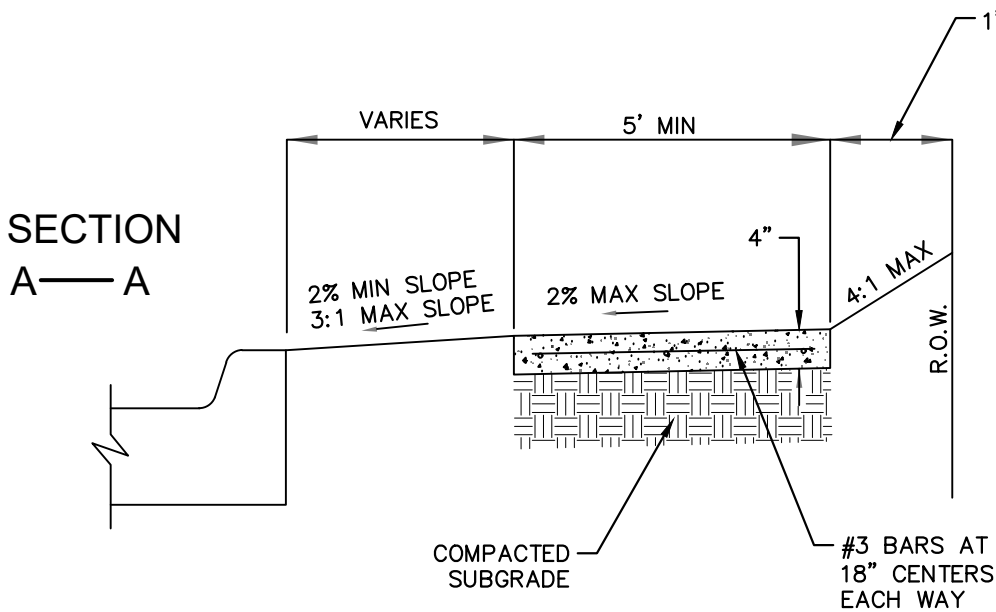
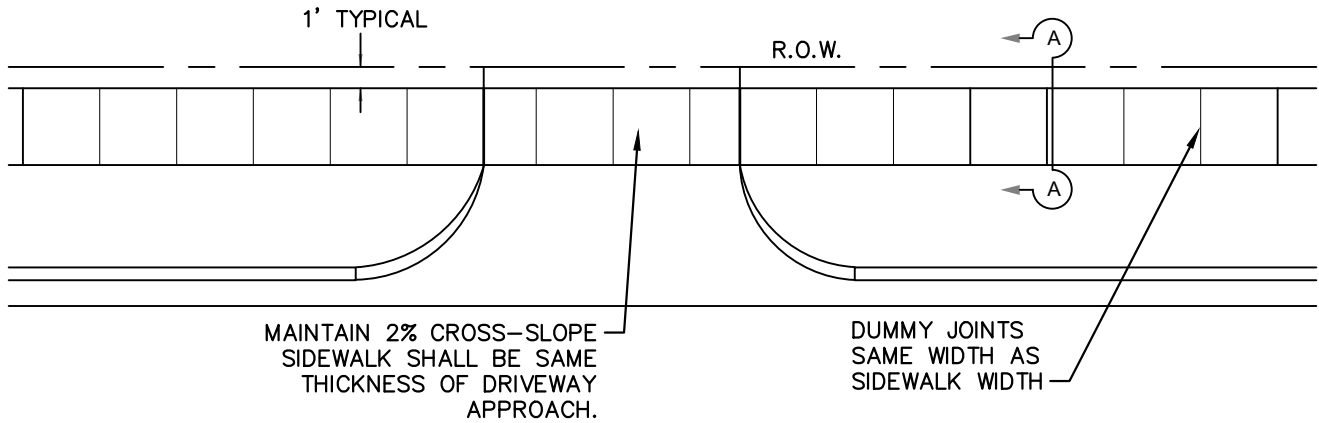
1. d = THICKNESS OF PAVEMENT
2. METHODS AND MATERIALS FOR JOINT CLEANING AND SEALING TO FOLLOW TXDOT ITEM SPECIFICATION 713.
3. TXDOT CLASS 8 JOINT SEALANT TO BE USED PER TXDOT DMS-6310.
4. NOT TO SCALE





NOTES:

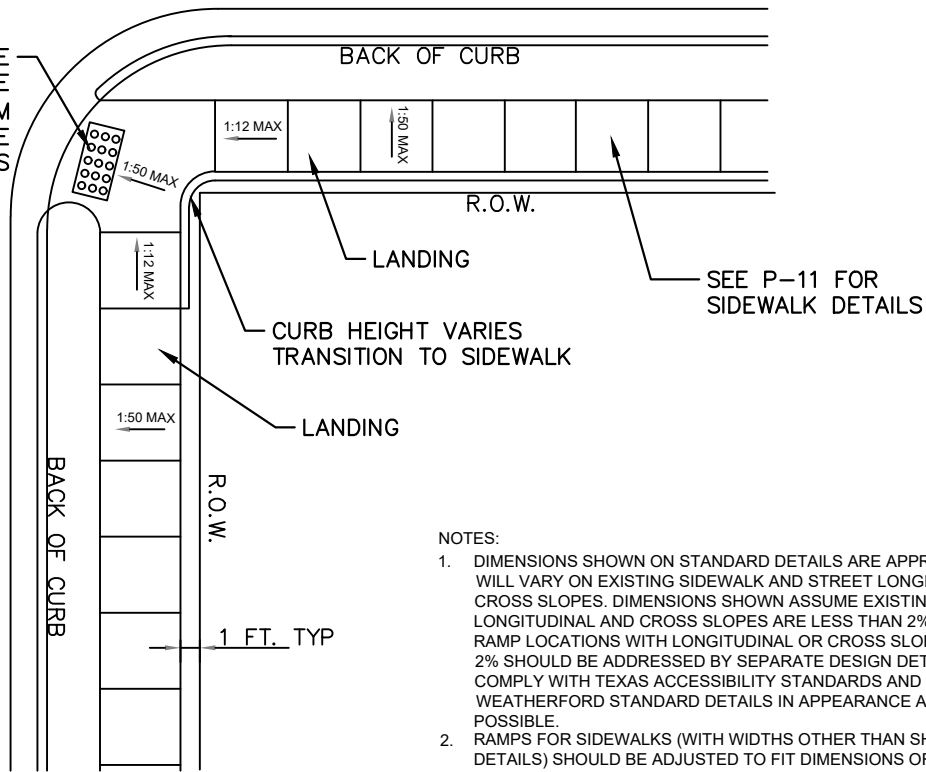
1. ROCKS GREATER THAN 3" IN DIAMETER SHALL BE REMOVED FROM ANY NATIVE MATERIAL USED AS BACKFILL.
2. NOT TO SCALE



NOTES:

1. SIDEWALK SHALL BE 4" THICKNESS, CLASS "A", 3000 PSI PER ITEM 303.3.
2. REINFORCEMENT SHALL BE #3 BARS @ 18" EACH WAY.
3. 1/2" EXPANSION JOINTS SHALL BE SPACED AT 30' MAXIMUM INTERVALS OR AS OTHERWISE SPECIFIED.
4. ALL SIDEWALKS CROSSING DRIVEWAYS SHALL BE SAME THICKNESS OF DRIVEWAY APPROACH.
5. ALL SIDEWALK CONSTRUCTION SHALL CONFORM TO THE LATEST A.D.A. RULES AND GUIDELINES AND TEXAS ACCESSIBILITY STANDARDS.
6. FOR ITEMS NOT SPECIFIED IN THIS DETAIL PLEASE REFER TO N.C.T.C.O.G. PUBLIC WORKS CONSTRUCTION STANDARDS.
7. OWNER/CONTRACTOR SHALL OBTAIN A R.O.W. CONSTRUCTION PERMIT PRIOR TO ANY WORK OR CONSTRUCTION. CONTACT PUBIC WORKS TO OBTAIN A PERMIT.
8. NOT TO SCALE

INSTALL DETECTABLE WARNING SURFACE A MINIMUM OF 6" FROM BACK OF CURB. SEE NOTES

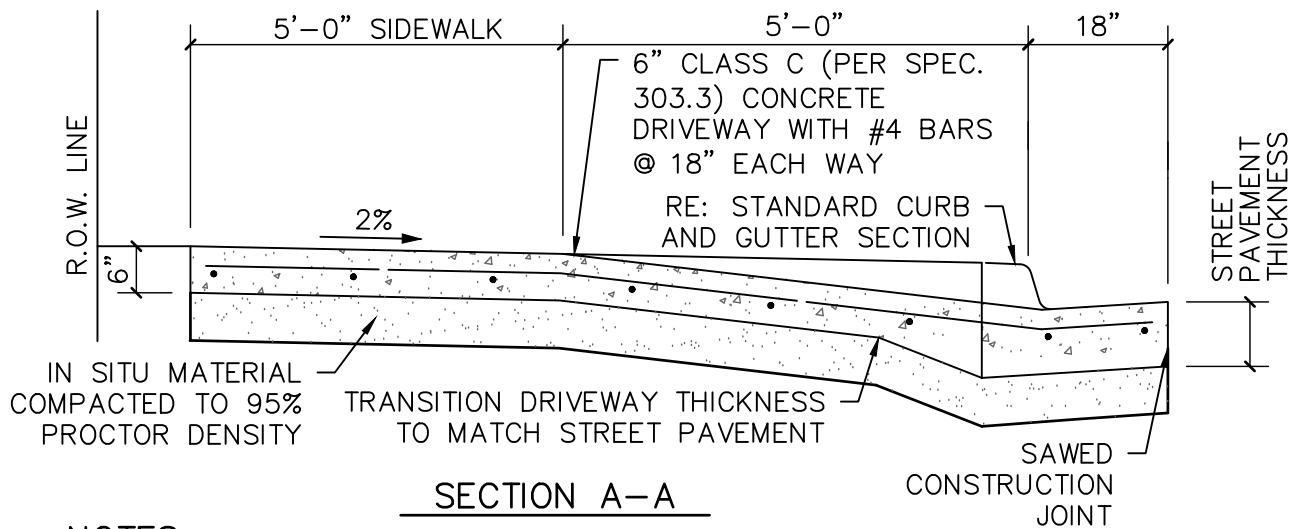
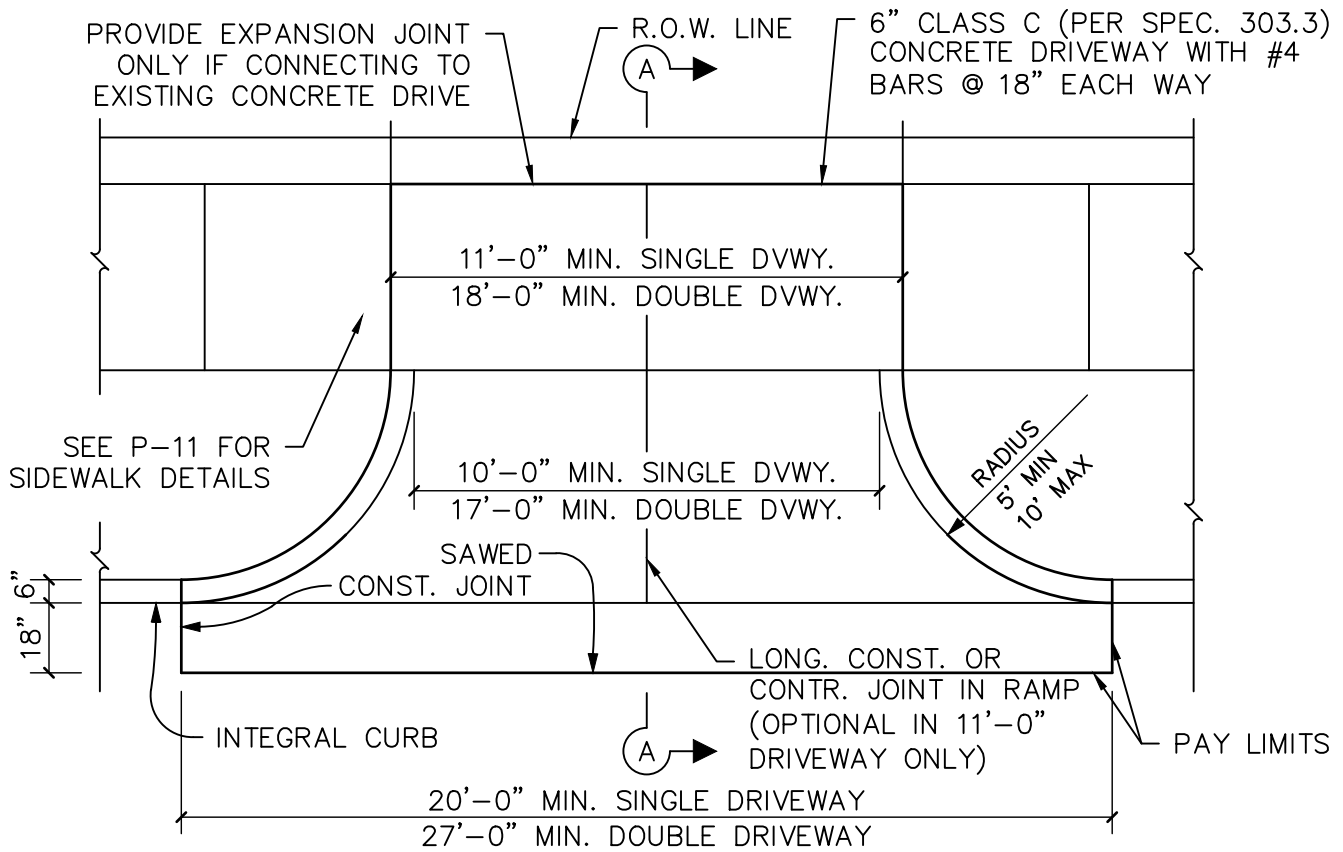


NOTES:

1. DIMENSIONS SHOWN ON STANDARD DETAILS ARE APPROXIMATE AND WILL VARY ON EXISTING SIDEWALK AND STREET LONGITUDINAL AND CROSS SLOPES. DIMENSIONS SHOWN ASSUME EXISTING LONGITUDINAL AND CROSS SLOPES ARE LESS THAN 2%. RAMP LOCATIONS WITH LONGITUDINAL OR CROSS SLOPES EXCEEDING 2% SHOULD BE ADDRESSED BY SEPARATE DESIGN DETAILS THAT COMPLY WITH TEXAS ACCESSIBILITY STANDARDS AND MATCH CITY OF WEATHERFORD STANDARD DETAILS IN APPEARANCE AS MUCH AS POSSIBLE.
2. RAMP FOR SIDEWALKS (WITH WIDTHS OTHER THAN SHOWN ON THESE DETAILS) SHOULD BE ADJUSTED TO FIT DIMENSIONS OF THE APPROACH SIDEWALKS CALLED FOR ON PLAN SHEETS.
3. FULL LENGTH OF RAMP (SLOPE 1:12) NOT TO EXCEED 6' IN LENGTH.
4. THE CONTRACTOR MUST NOTIFY THE CITY PRIOR TO INSTALLATION OF CONCRETE IF THE APPROACH SLOPE OF THE EXISTING SIDEWALK EXCEEDS 1:20 (5%) OR HAS A CROSSFALL GREATER THAN 1:50 (2%) AND NO DESIGN DETAILS ARE PROVIDED FOR THAT SPECIFIC LOCATION.
5. CONTRACTOR TO VERIFY ALL SLOPES PRIOR TO POURING CONCRETE. ALL SLOPES SHOULD BE IN COMPLIANCE WITH APPLICABLE STANDARDS FROM THE TEXAS DEPARTMENT OF LICENSING AND REGULATION.
6. LANDING PAD SHALL BE A MINIMUM 48" WIDTH AND 60" LENGTH AND MATCH SIDEWALK WIDTH. NO LANDING PAD SHALL BE LESS THAN THIS DIMENSION UNLESS OTHERWISE DIRECTED BY CITY. CROSS SLOPE SHALL NOT EXCEED 1:50 (2%) AT ANY DIRECTION.
7. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO ENSURE SLOPES MEET REQUIREMENTS OF THE TEXAS ACCESSIBILITY STANDARDS.
8. CONTRACTOR SHALL CONTACT PUBLIC WORKS FOR INSPECTION PRIOR TO ANY PLACEMENT OF CONCRETE IN R.O.W.
9. A CURB SHALL BE CONSTRUCTED AT THE BACK OF THE WHEELCHAIR RAMP WHEN ELEVATION DIFFERENCE EXCEEDS 6".
10. CURB RAMPS SHALL BE CONSTRUCTED WITH SAME SPECIFICATIONS FOR SIDEWALK CONSTRUCTION UNLESS OTHERWISE NOTED.
11. FOR SIDEWALK DETAILS AND SPECIFICATIONS REFER TO P-11
12. ADA REPLACEABLE (WET SET) COMPOSITE TACTILE WARNING SURFACE UNIT (RED) AVAILABLE FROM ADA SOLUTIONS SHALL BE INSTALLED FOR ALL ADA RAMPS. DETECTABLE WARNING SHALL BE 24" LENGTH BY 48" WIDTH TRUNCATED DOMES THAT ARE TAS APPROVED. CONTRACTOR SHALL PROVIDE A MINIMUM 4" CONCRETE THICKNESS BENEATH THE ADA REPLACEABLE COMPOSITE TACTILE WARNING SURFACE UNIT.
13. NOT TO SCALE

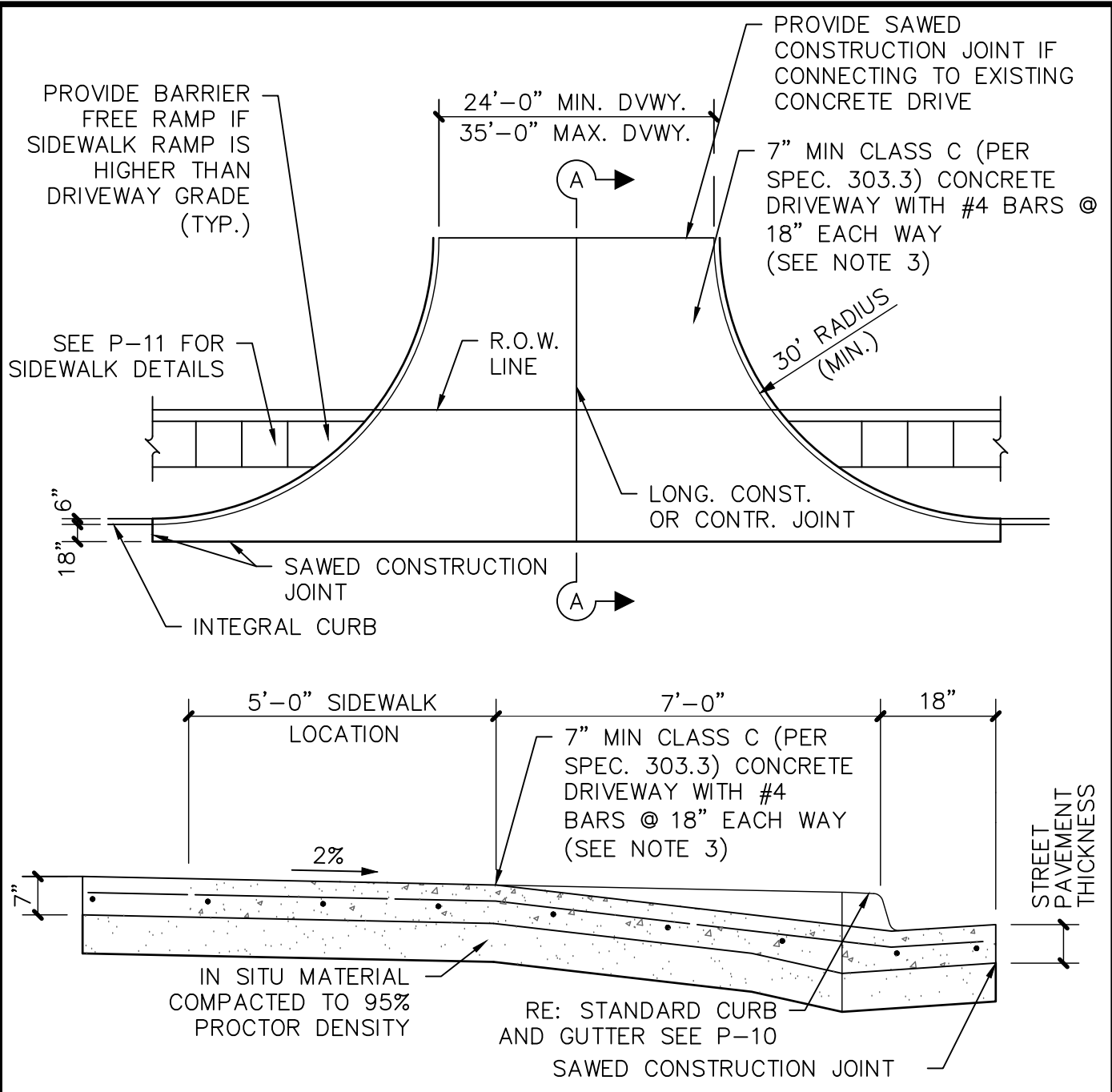
CONVERSIONS
 1:12 - APPROXIMATELY 8.3%
 1:20 - APPROXIMATELY 5%
 1:50 - APPROXIMATELY 1/4" PER 1' OR 2%





NOTES:

1. ALL SPEC. ITEM NUMBER REFERENCES SHALL REFERENCE THE 5TH EDITION OF THE NCTCOG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
2. SIDEWALK SECTION THROUGH DRIVEWAY SHALL BE POURED SAME THICKNESS AS DRIVEWAY APPROACH (EXISTING SIDEWALK, IF ANY, SHALL BE REMOVED AND REPLACED).
3. EXISTING CURB AND GUTTER SHALL BE VERTICALLY SAWCUT. HORIZONTAL SAWCUTTING OF CURB NOT ALLOWED.
4. NOT TO SCALE

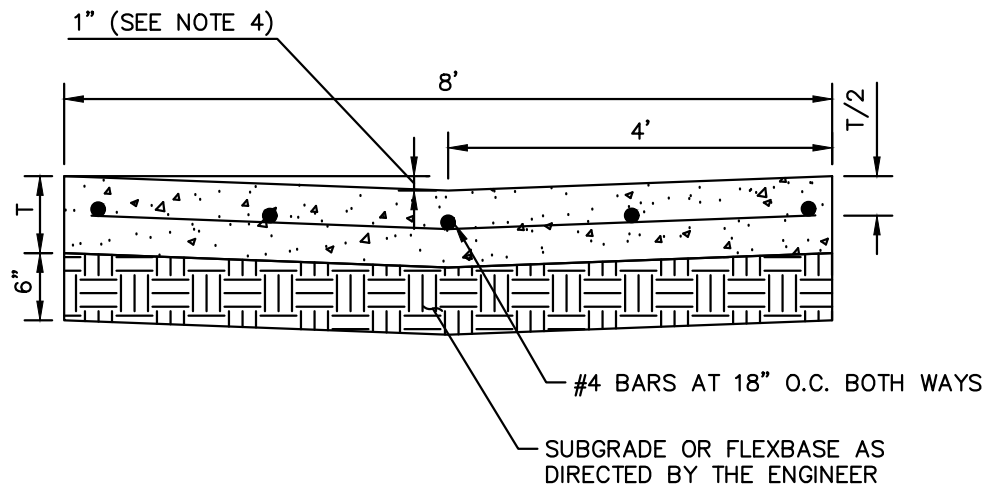
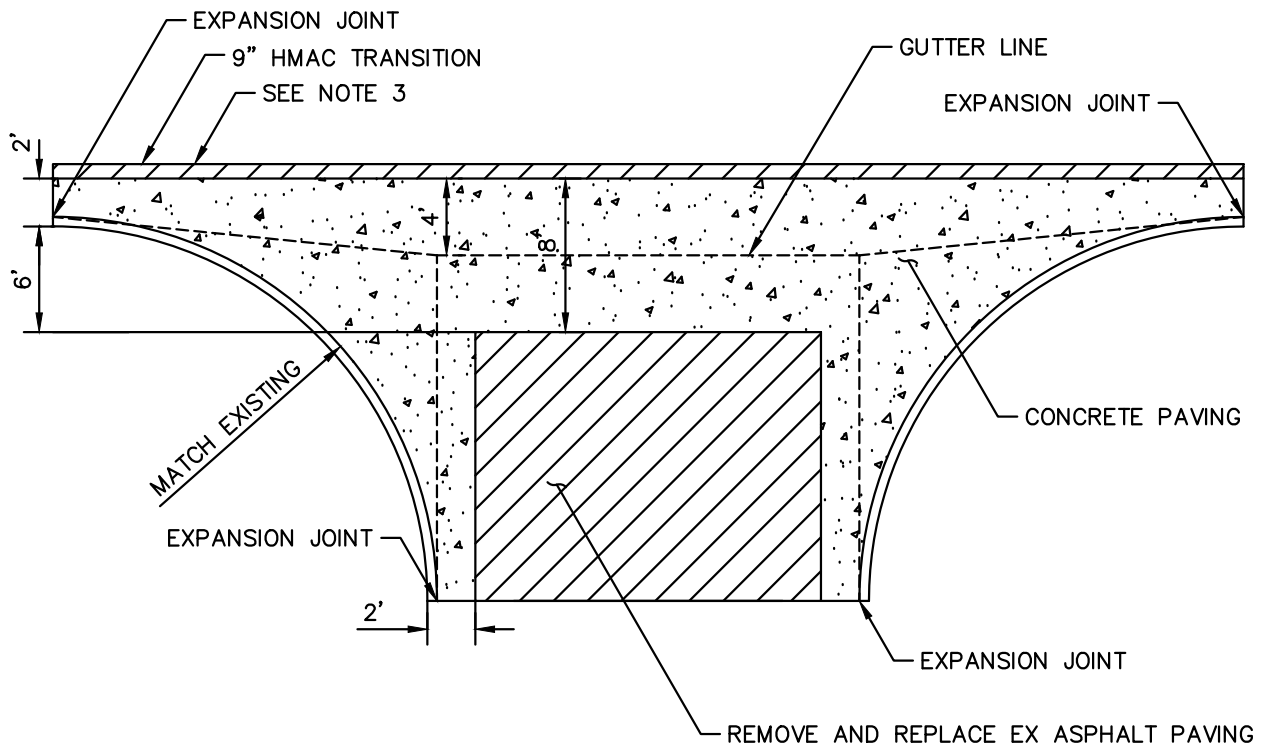


SECTION A-A

NOTES:

1. EXISTING CURB AND GUTTER SHALL BE VERTICALLY SAWCUT. HORIZONTAL SAWCUTTING OF CURB NOT ALLOWED
2. SIDEWALK SECTION THROUGH DRIVEWAY SHALL BE POURED SAME THICKNESS AS DRIVEWAY APPROACH (EXISTING SIDEWALK, IF ANY, SHALL BE REMOVED AND REPLACED).
3. MATCH EXISTING DRIVEWAY THICKNESS OR AS DICTATED BY GEOTECHNICAL REPORT IF EITHER IS GREATER THAN 7".
4. NOT TO SCALE

 CITY OF ALEDO	<h2 style="margin: 0;">City of Aledo</h2> <h3 style="margin: 0;">Construction Standards</h3>	COMMERCIAL - INDUSTRIAL DRIVEWAY	REVISED APR. 2026
			P-14



NOTES:

1. REFER TO P-06 AND N.C.T.C.O.G. ITEM 303.3 FOR CONCRETE PAVEMENT.
2. 9" AND 24" HMAC TRANSITION SUBSIDIARY TO CONCRETE VALLEY GUTTER.
3. GUTTER TO BE SHAPED TO CONFORM WITH CONCRETE VALLEY (OR PAVEMENT).
4. IF VALLEY GUTTER IS ADJACENT TO BARRIER FREE RAMPS, CROSS SLOPE SHALL BE ADA COMPLIANT.
5. NOT TO SCALE



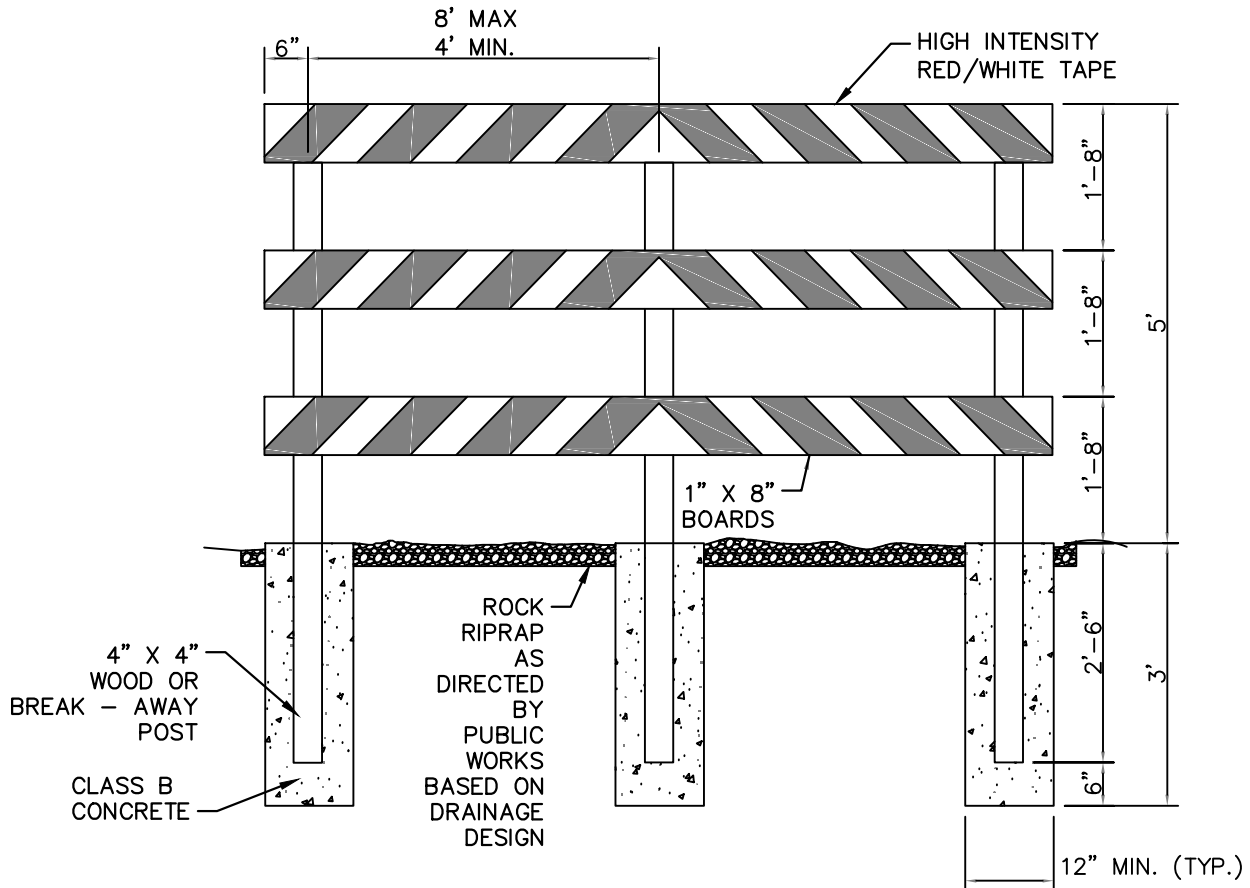
CITY OF
ALEDO

City of Aledo
Construction Standards

VALLEY GUTTER

REVISED
APR. 2026

P-15



TYPICAL INSTALLATION

ROAD CLOSED BARRICADE

NOTES:

1. ALL BARRICADES SHALL BE IN ACCORDANCE WITH THE LATEST REVISION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TMUTCD) AND THE STANDARD HIGHWAY SIGN DESIGN FOR TEXAS (SHSD).
2. BARRICADE MUST COVER ENTIRE WIDTH OF PAVED ROADWAY OR FIRELANE SURFACE.
3. ALL 1" X 8" AND 4" X 4" WOOD POSTS MUST BE PAINTED WHITE.
4. BARRICADES SHALL BE DESIGNED AND CONSTRUCTED TO THE STANDARDS OF THE COMPLIANT WORK ZONE TRAFFIC CONTROL DEVICE LIST.
5. BARRICADE STRIPING MATERIAL SHALL BE RED AND WHITE HIGH INTENSITY REFLECTIVE SHEETING.
6. DIAGONAL STRIPING SHALL BE PLACED IN A MANNER THAT DIRECTS TRAFFIC IN THE APPROPRIATE DIRECTION OF TRAVEL.
7. PROPOSED BARRICADE STRIPING SHALL BE APPROVED BY THE CITY PRIOR TO PLACEMENT OF BARRICADE.
8. NOT TO SCALE



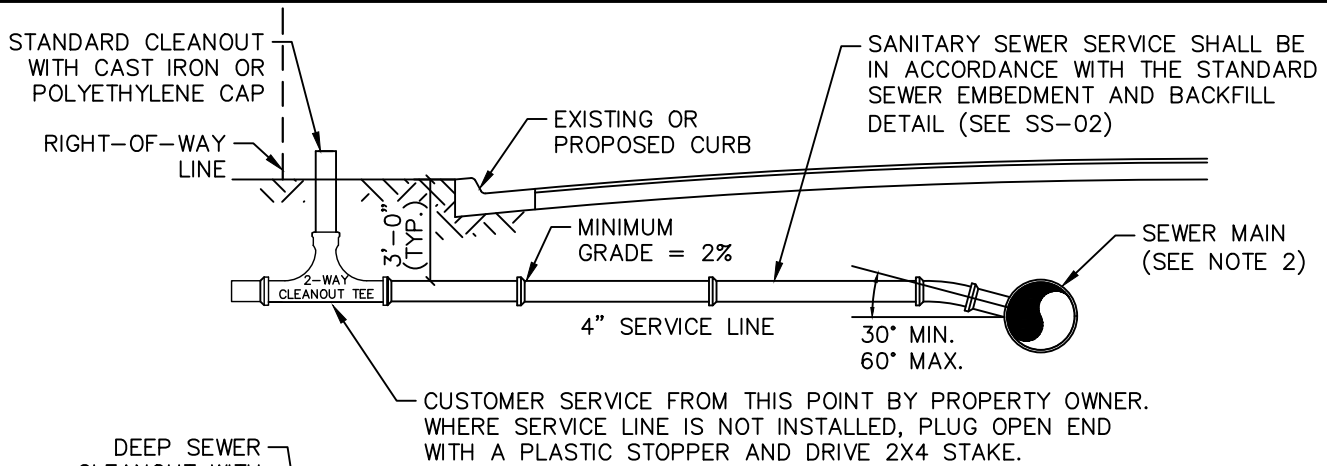
CITY OF
ALEDO

City of Aledo
Construction Standards

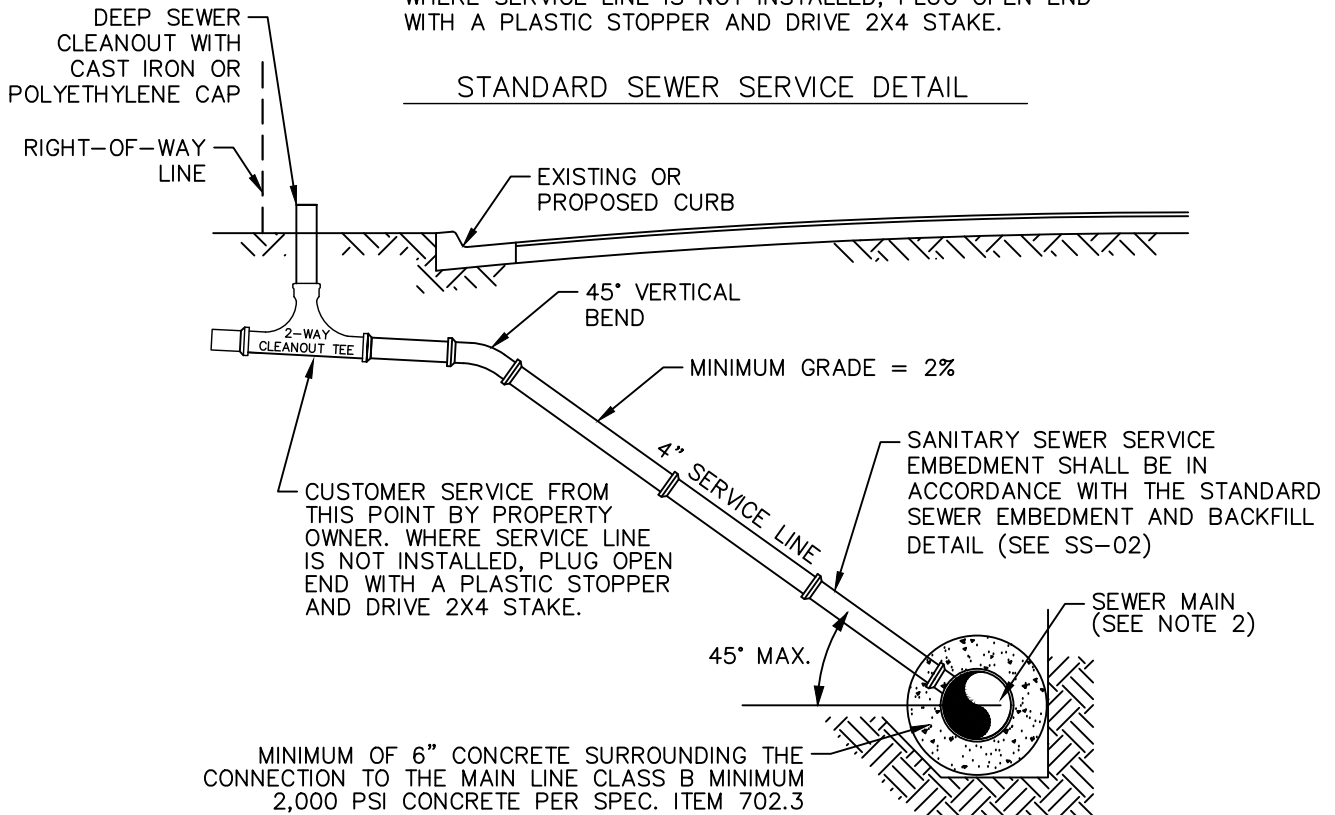
ROAD CLOSED BARRICADE
TYPICAL INSTALLATION

REVISED
APR. 2026

P-16



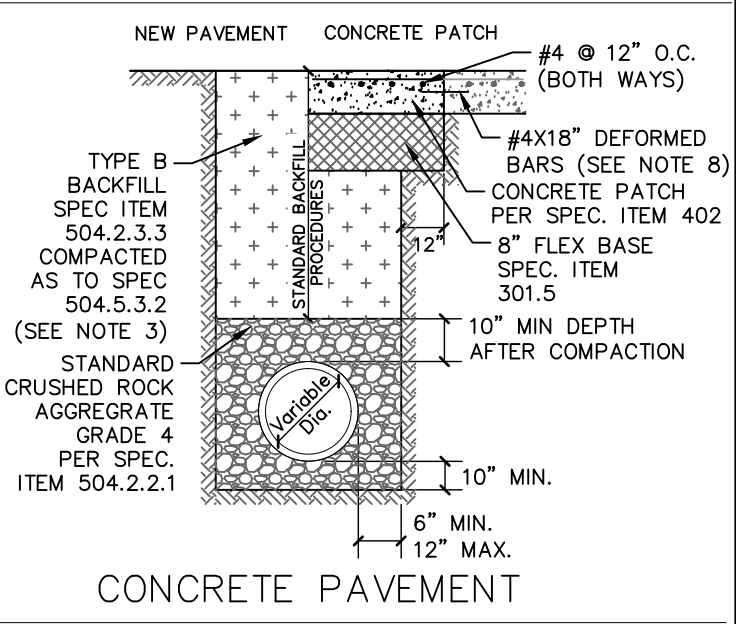
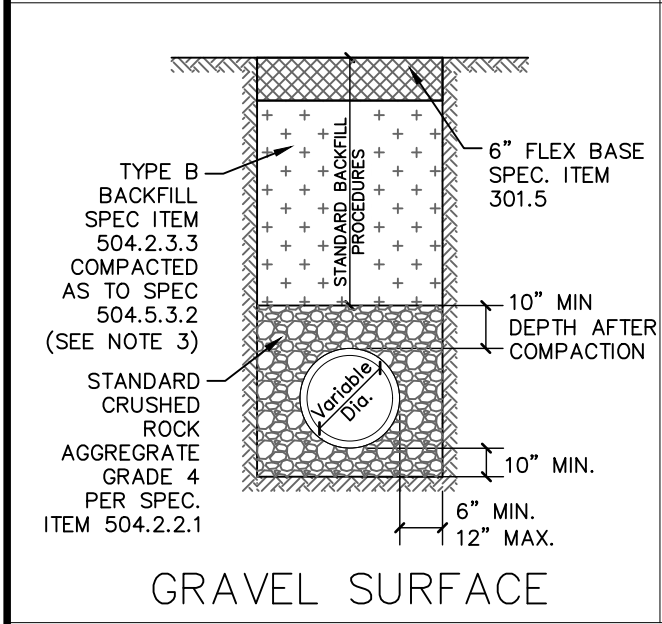
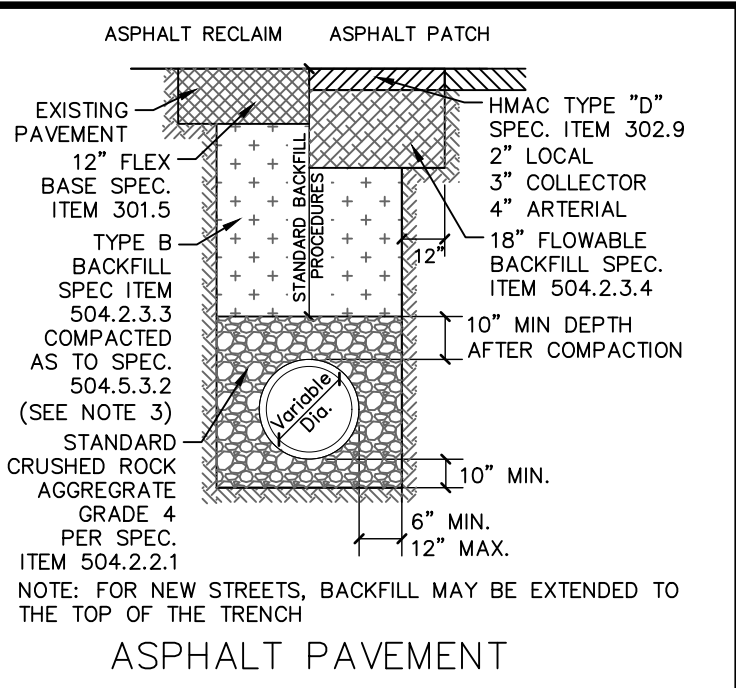
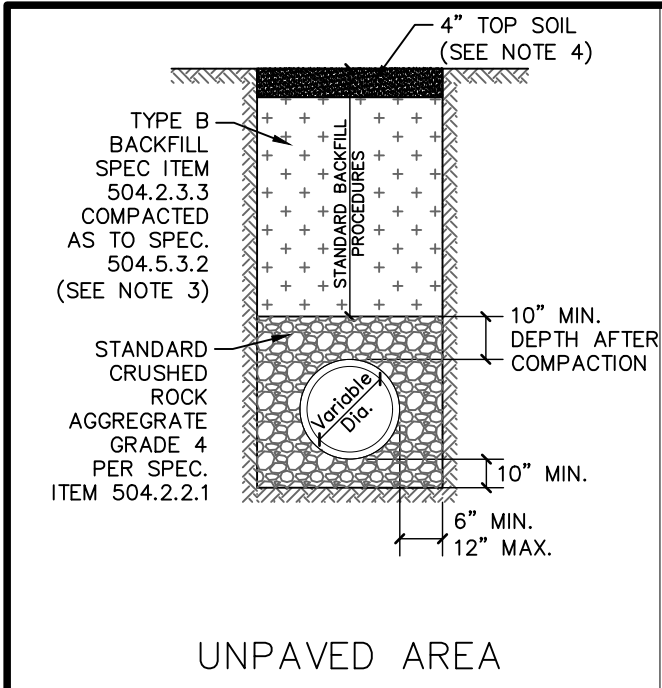
STANDARD SEWER SERVICE DETAIL



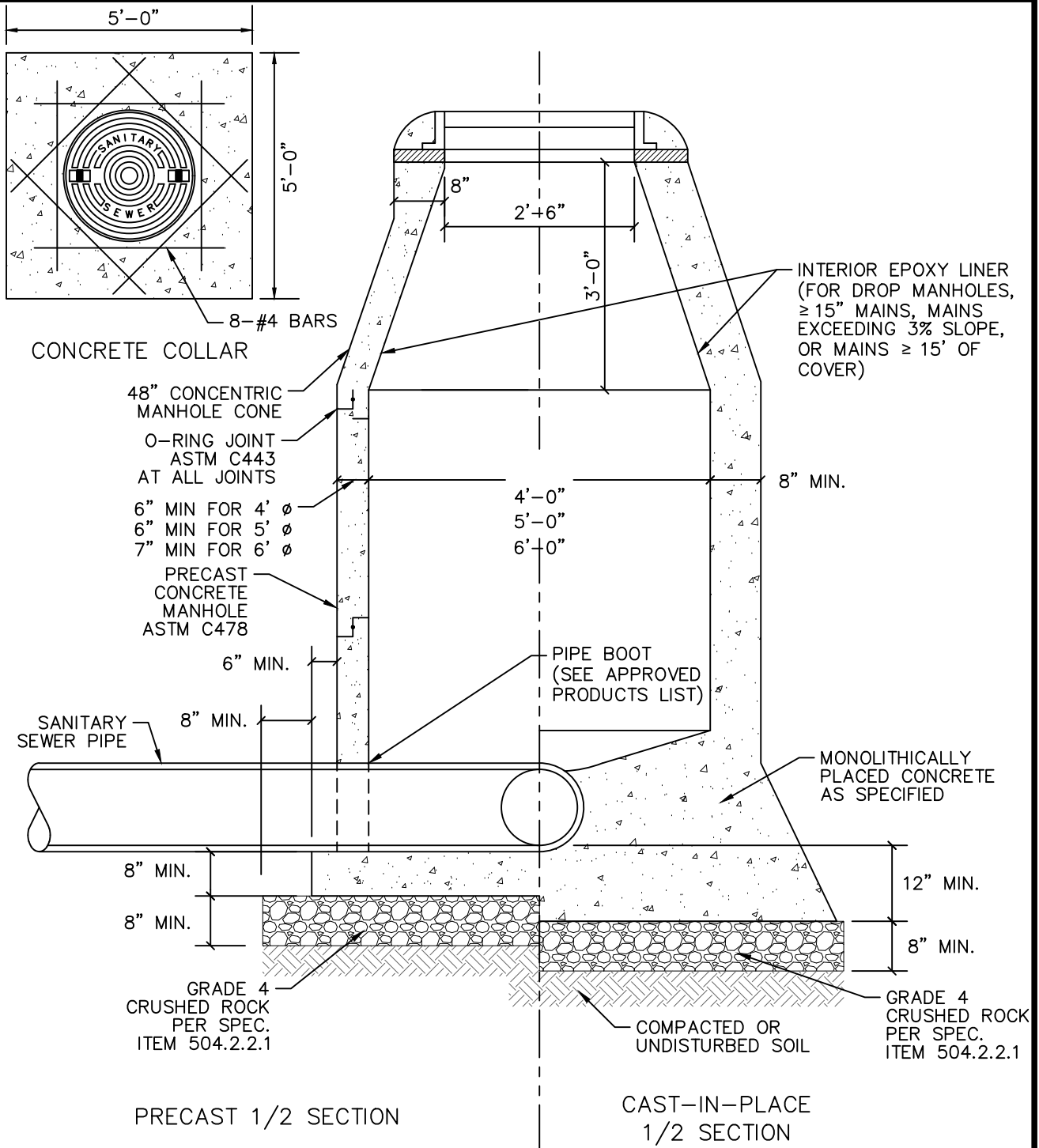
DEEP SEWER SERVICE DETAIL

NOTES:

1. ALL SPEC. ITEM NUMBER REFERENCES SHALL REFERENCE THE 5TH EDITION OF THE NCTCOG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
2. EITHER A WYE FITTING OR A TEE WYE FITTING MAY BE USED FOR CONNECTION TO SEWER MAIN. NO TEES OR WYE SADDLES WILL BE ALLOWED. ALL CONNECTIONS TO BE MADE AT THE TWO O'CLOCK OR TEN O'CLOCK POSITION.
3. CONNECTIONS TO SEWER MAINS FROM 0' TO 7' DEEP SHALL CONFORM TO THE STANDARD SEWER CONNECTION DETAIL. CONNECTIONS TO SEWER MAINS DEEPER THAN 7' SHALL CONFORM TO THE DEEP SEWER CONNECTION DETAILS.
4. MARK SEWER SERVICE LINE LOCATION WITH RED VINYL TAPE AT LEAST 3" WIDE AND 10 MIL THICK. ATTACH TAPE TO THE END OF THE SERVICE AND EXTEND THROUGH THE BACKFILL AT THE POINT OF THE HOUSE SERVICE CONNECTION BEHIND THE CURB.
5. SANITARY SEWER SERVICE LOCATIONS SHALL BE MARKED ON THE FACE OF CURB WITH AN "S" CUT.
6. NOT TO SCALE

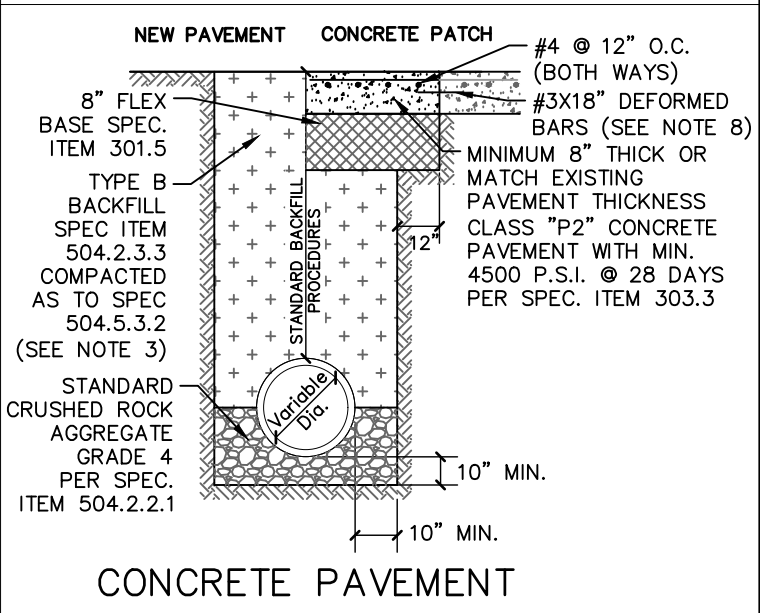
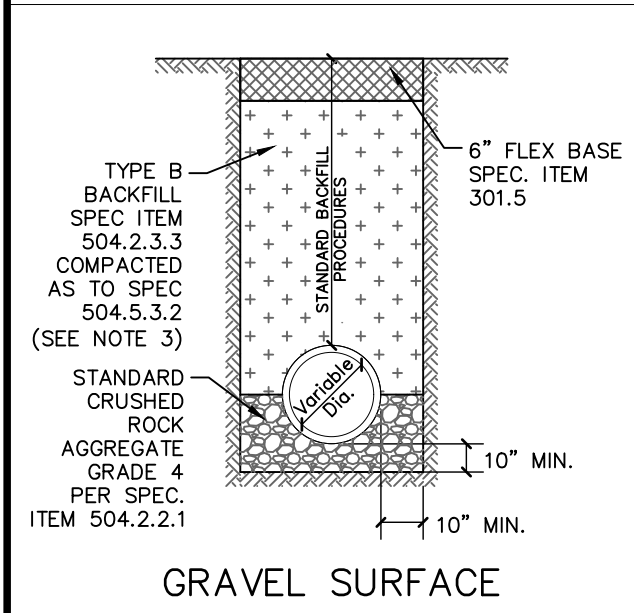
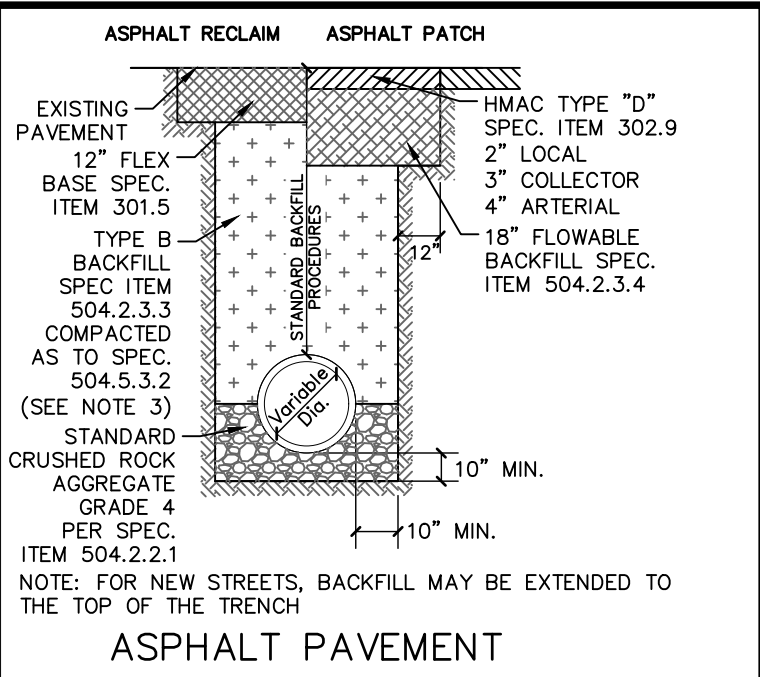
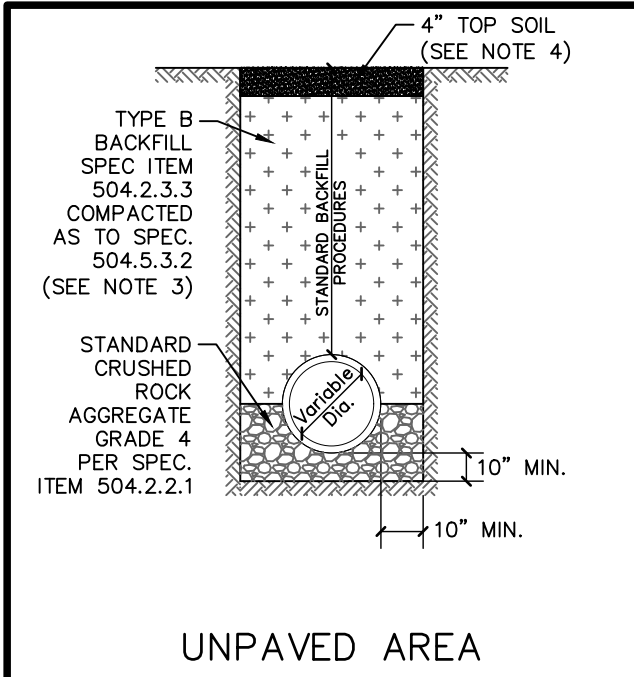


- NOTES:**
1. ALL SPEC. ITEM NUMBER REFERENCES SHALL REFERENCE THE 5TH EDITION OF NCTCOG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 2. AT THE END OF EACH WORK DAY ALL SPOILS SHALL BE REMOVED FROM THE CITY R.O.W. UNLESS PRIOR WRITTEN PERMISSION IS OBTAINED FROM THE CITY TO STORE SPOILS IN DESIGNATED SPOIL STORAGE AREAS THAT DO NOT OBSTRUCT AUTOMOBILE OR PEDESTRIAN TRAFFIC.
 3. ROCKS GREATER THAN 3" IN DIAMETER SHALL BE REMOVED FROM ANY NATIVE MATERIAL USED AS BACKFILL.
 4. TOPSOIL SHALL BE 4" IN DEPTH AND SHALL BE LOOSE AND FREE OF ROCKS OR CLOUDS GREATER THAN 1/4" IN DIAMETER. ALL TOPSOIL SHALL BE APPROVED BY THE CITY PRIOR TO INSTALLATION.
 5. ALL PAVEMENT SHALL BE REMOVED ALONG NEAT SAW CUT LINES PER SPEC. ITEM 402.3.
 6. SEWER LINE WARNING TAPE OF MIN 4" WIDTH SHALL BE INSTALLED ABOVE THE EMBEDMENT MATERIAL.
 7. A MAXIMUM OF 50 FT OF OPEN TRENCH WILL BE ALLOWED AT ANY TIME, UNLESS APPROVED BY THE CITY.
 8. DEFORMED BARS DOWELED AND EPOXYED MIN. 6" INTO EXISTING PAVEMENT @ 12" O.C. (TYP).
 9. IF GROUND WATER IS IN SUFFICIENT QUANTITY TO CAUSE SAND TO PUMP, THEN USE CRUSHED ROCK AS EMBEDMENT.
 10. NOT TO SCALE



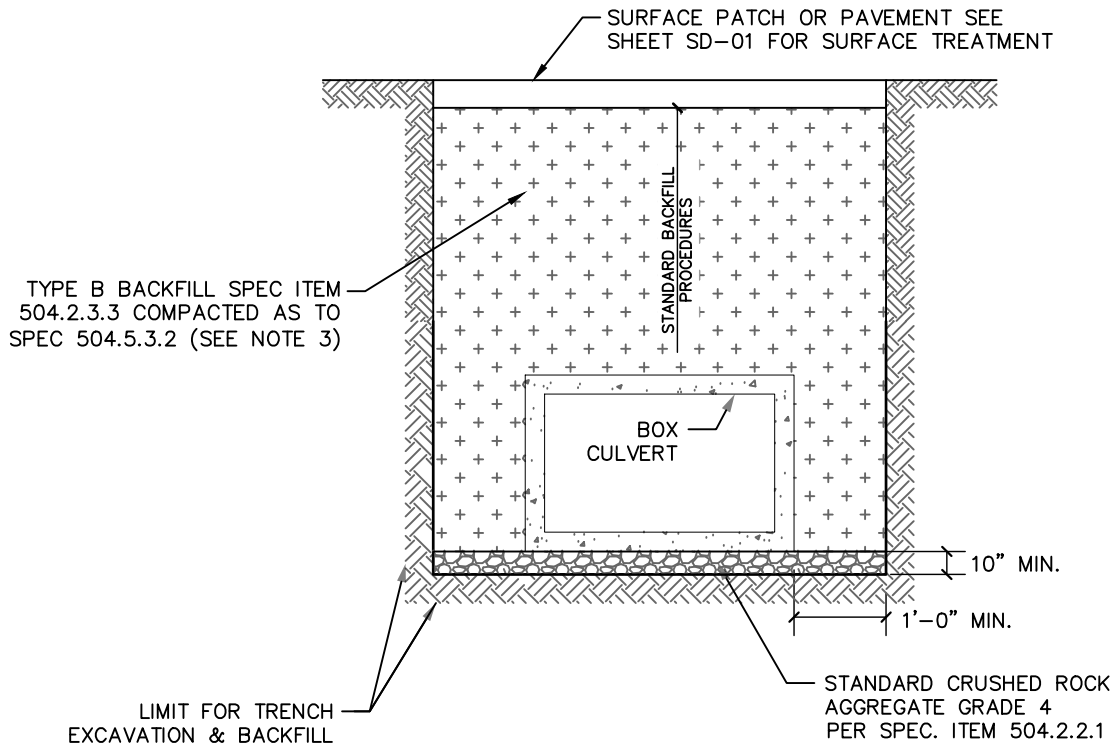
NOTES:

1. ALL SPEC. ITEM NUMBER REFERENCES SHALL REFERENCE THE 5TH EDITION OF THE NCTCOG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
2. MANHOLES SHALL BE CONCENTRIC UNLESS OTHERWISE APPROVED BY THE CITY.
3. 5'X5' CONCRETE COLLAR OF 6" 3600 PSI CLASS "C" CONCRETE SHALL BE PROVIDED FOR MANHOLE LIDS LOCATED IN ASPHALT PAVING OR OUTSIDE OF PAVING LIMITS.
4. INVERTS SHALL BE EQUAL TO OR GREATER THAN THE PIPE DIAMETER.
5. MAXIMUM CHIMNEY HEIGHT SHALL BE 15".
6. NOT TO SCALE



NOTES:

1. ALL SPEC. ITEM NUMBER REFERENCES SHALL REFERENCE THE 5TH EDITION OF NCTCOG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
2. AT THE END OF EACH WORK DAY ALL SPOILS SHALL BE REMOVED FROM THE CITY R.O.W. UNLESS PRIOR WRITTEN PERMISSION IS OBTAINED FROM THE CITY TO STORE SPOILS IN DESIGNATED SPOIL STORAGE AREAS THAT DO NOT OBSTRUCT AUTOMOBILE OR PEDESTRIAN TRAFFIC.
3. ROCKS GREATER THAN 3" IN DIAMETER SHALL BE REMOVED FROM ANY NATIVE MATERIAL USED AS BACKFILL.
4. TOPSOIL SHALL BE 4" IN DEPTH AND SHALL BE LOOSE AND FREE OF ROCKS OR CLOUDS GREATER THAN 1/4" IN DIAMETER. ALL TOPSOIL SHALL BE APPROVED BY THE CITY PRIOR TO INSTALLATION.
5. ALL PAVEMENT SHALL BE REMOVED ALONG NEAT SAW CUT LINES PER SPEC. ITEM 402.3.
6. STORM LINE WARNING TAPE OF MIN 4" WIDTH SHALL BE INSTALLED ABOVE THE EMBEDMENT MATERIAL.
7. A MAXIMUM OF 50 FT OF OPEN TRENCH WILL BE ALLOWED AT ANY TIME, UNLESS APPROVED BY THE CITY.
8. DEFORMED BARS DOWELED AND EPOXYED MIN. 6" INTO EXISTING PAVEMENT @ 12" O.C. (TYP).
9. CONTRACTOR TO FILL STANDARD CRUSHED ROCK AGGREGATE TO TOP OF PIPE IF MINIMUM TRENCH WIDTH IS NOT MET DURING THE INSTALLATION OF RCP.
10. IF GROUND WATER IS IN SUFFICIENT QUANTITY TO CAUSE SAND TO PUMP, THEN USE CRUSHED ROCK AS EMBEDMENT.
11. NOT TO SCALE

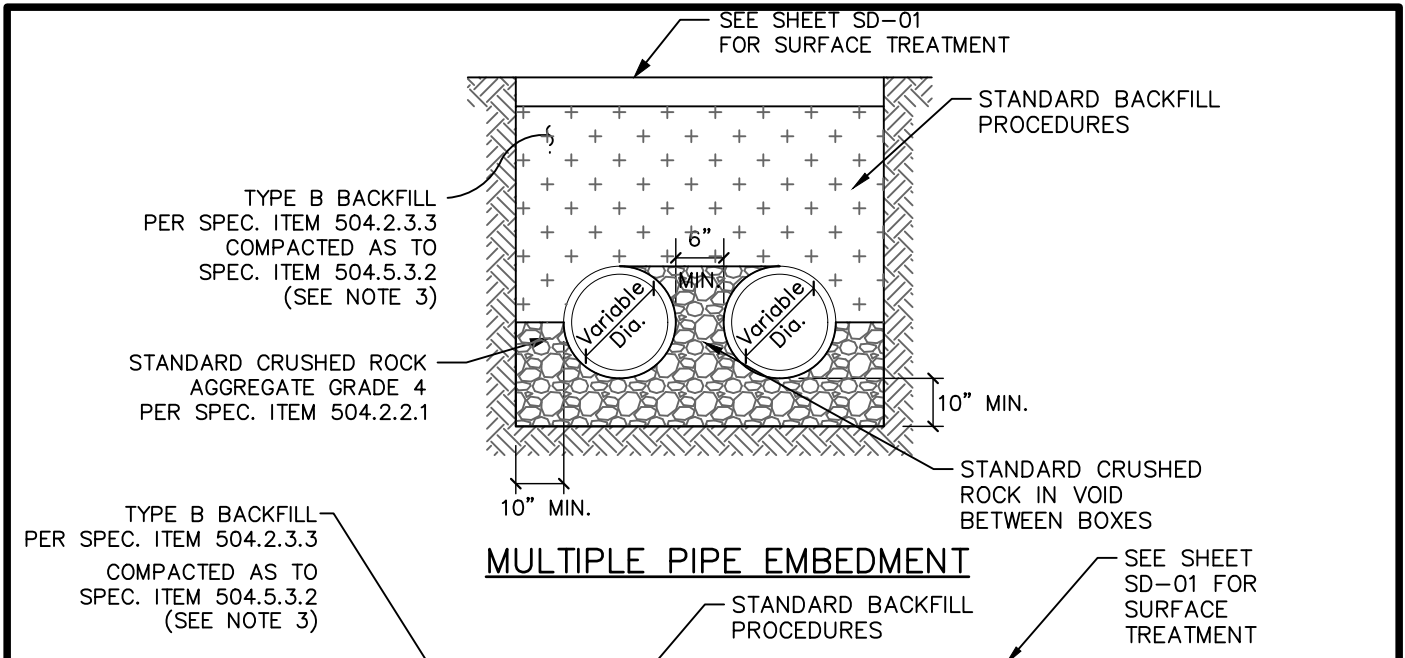


BOX EMBEDMENT

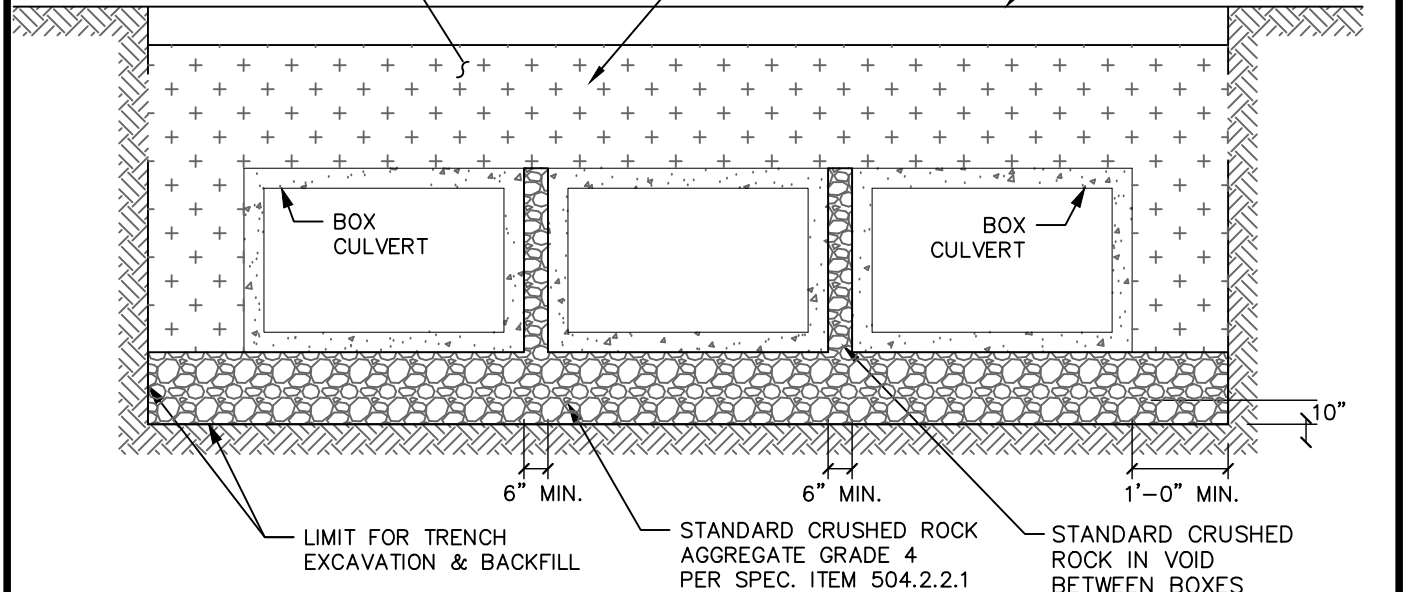
NOTES:

1. ALL SPEC. ITEM NUMBER REFERENCES SHALL REFERENCE THE 5TH EDITION OF NCTCOG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
2. AT THE END OF EACH WORK DAY ALL SPOILS SHALL BE REMOVED FROM THE CITY R.O.W. UNLESS PRIOR WRITTEN PERMISSION IS OBTAINED FROM THE CITY TO STORE SPOILS IN DESIGNATED SPOIL STORAGE AREAS THAT DO NOT OBSTRUCT AUTOMOBILE OR PEDESTRIAN TRAFFIC.
3. ROCKS GREATER THAN 3" IN DIAMETER SHALL BE REMOVED FROM ANY NATIVE MATERIAL USED AS BACKFILL.
4. TOPSOIL SHALL BE 4" IN DEPTH AND SHALL BE LOOSE AND FREE OF ROCKS OR CLODS GREATER THAN 1/4" IN DIAMETER. ALL TOPSOIL SHALL BE APPROVED BY THE CITY PRIOR TO INSTALLATION.
5. ALL PAVEMENT SHALL BE REMOVED ALONG NEAT SAW CUT LINES PER SPEC. ITEM 402.3.
6. STORM LINE WARNING TAPE OF MIN 4" WIDTH SHALL BE INSTALLED ABOVE THE EMBEDMENT MATERIAL.
7. A MAXIMUM OF 50 FT OF OPEN TRENCH WILL BE ALLOWED AT ANY TIME, UNLESS APPROVED BY THE CITY.
8. CONTRACTOR TO FILL STANDARD CRUSHED ROCK AGGREGATE TO TOP OF BOX IF MINIMUM TRENCH WIDTH IS NOT MET DURING THE INSTALLATION OF RCB.
9. IF GROUND WATER IS IN SUFFICIENT QUANTITY TO CAUSE SAND TO PUMP, THEN USE CRUSHED ROCK AS EMBEDMENT
10. NOT TO SCALE

 City of Aledo <small>CITY OF</small> ALEDO Construction Standards	STORM DRAIN EMBEDMENT (2 OF 3)	REVISED APR. 2026
		SD-02



MULTIPLE PIPE EMBEDMENT

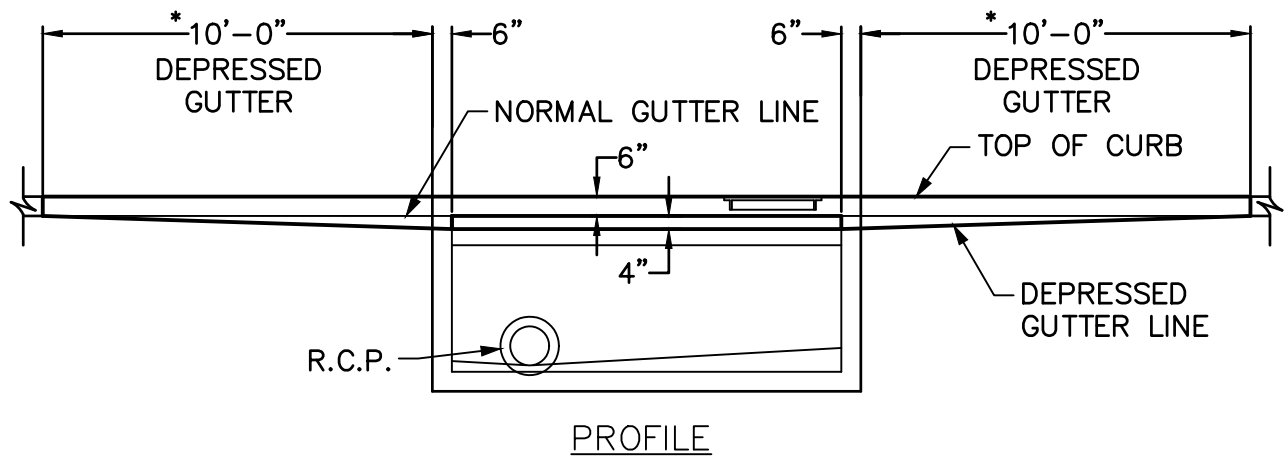
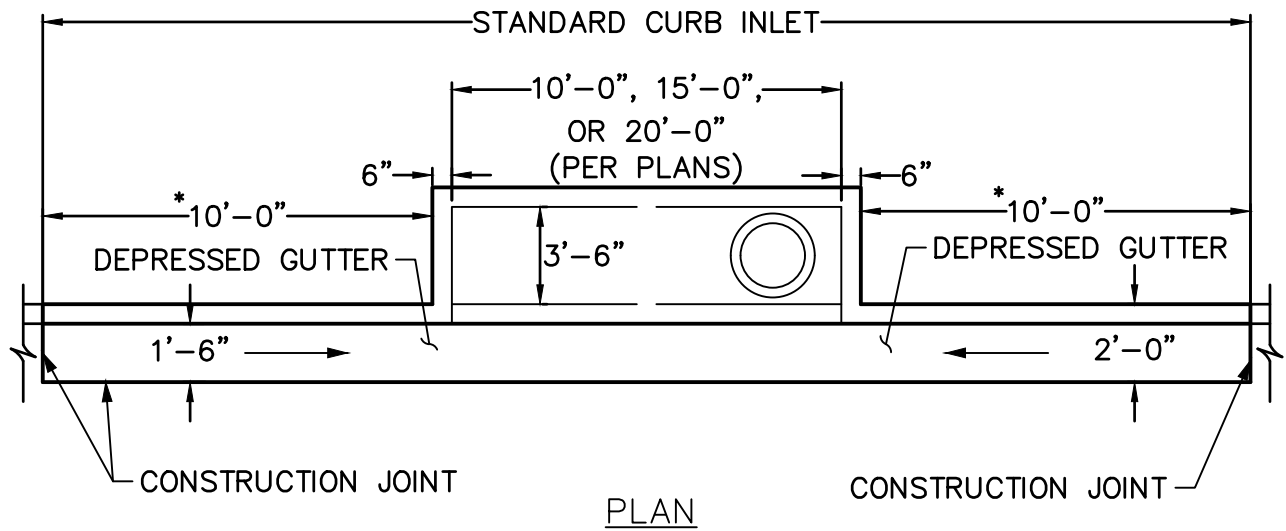


MULTIPLE BOX EMBEDMENT

NOTES:

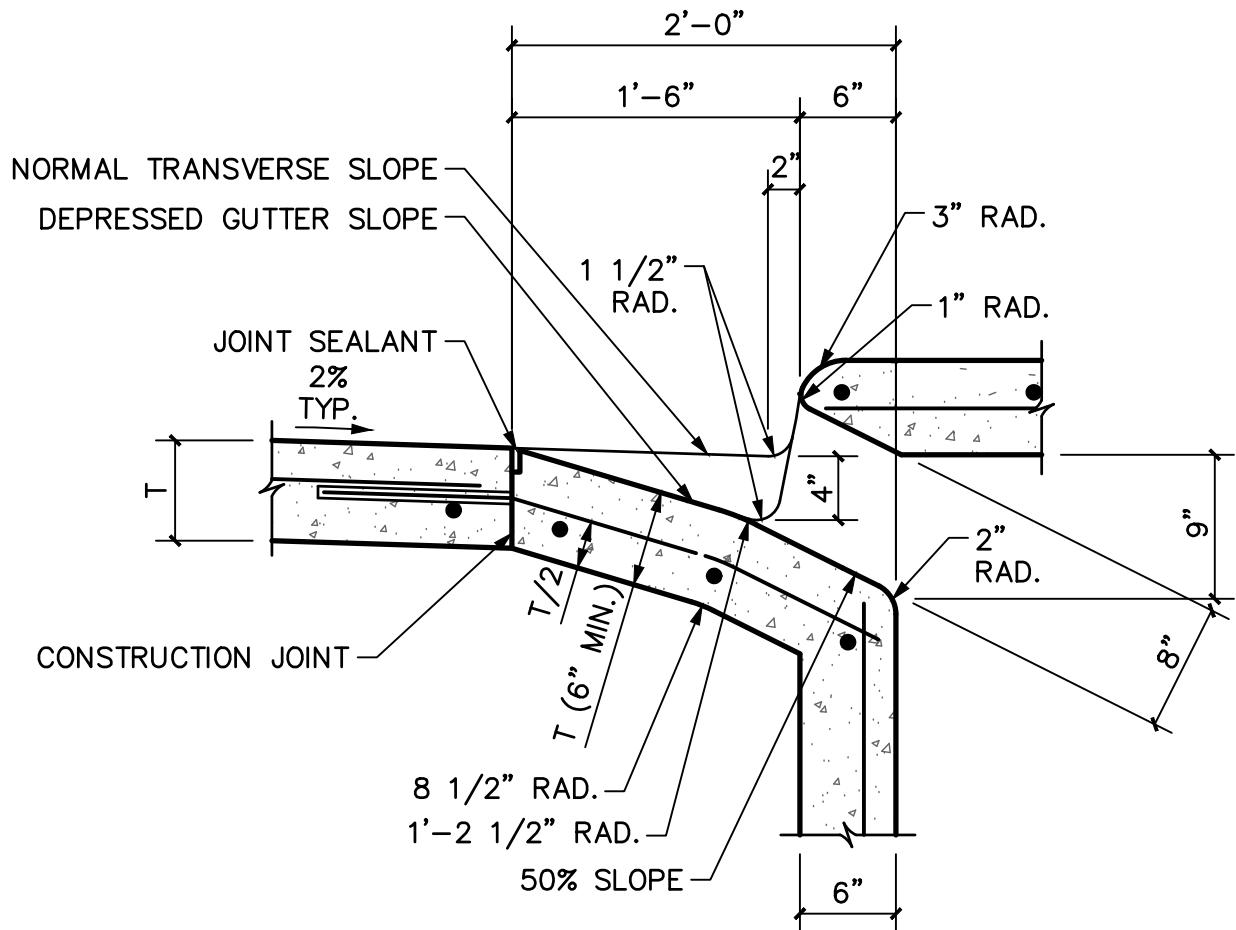
1. ALL SPEC. ITEM NUMBER REFERENCES SHALL REFERENCE THE 5TH EDITION OF NCTCOG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
2. AT THE END OF EACH WORK DAY ALL SPOILS SHALL BE REMOVED FROM THE CITY R.O.W. UNLESS PRIOR WRITTEN PERMISSION IS OBTAINED FROM THE CITY TO STORE SPOILS IN DESIGNATED SPOIL STORAGE AREAS THAT DO NOT OBSTRUCT AUTOMOBILE OR PEDESTRIAN TRAFFIC.
3. ROCKS GREATER THAN 3" IN DIAMETER SHALL BE REMOVED FROM ANY NATIVE MATERIAL USED AS BACKFILL.
4. TOPSOIL SHALL BE 4" IN DEPTH AND SHALL BE LOOSE AND FREE OF ROCKS OR CLODS GREATER THAN 1/4" IN DIAMETER. ALL TOPSOIL SHALL BE APPROVED BY THE CITY PRIOR TO INSTALLATION.
5. ALL PAVEMENT SHALL BE REMOVED ALONG NEAT SAW CUT LINES PER SPEC. ITEM 402.3.
6. STORM LINE WARNING TAPE OF MIN 4" WIDTH SHALL BE INSTALLED ABOVE THE EMBEDMENT MATERIAL.
7. A MAXIMUM OF 50 FT OF OPEN TRENCH WILL BE ALLOWED AT ANY TIME, UNLESS APPROVED BY THE CITY.
8. CONTRACTOR TO FILL STANDARD CRUSHED ROCK AGGREGATE TO TOP OF PIPE / BOX IF MINIMUM TRENCH WIDTH IS NOT MET DURING THE INSTALLATION OF PIPE / BOX.
9. IF GROUND WATER IS IN SUFFICIENT QUANTITY TO CAUSE SAND TO PUMP, THEN USE CRUSHED ROCK AS EMBEDMENT
10. NOT TO SCALE

 <p>City of Aledo CITY OF ALEDO Construction Standards</p>	<p>STORM DRAIN EMBEDMENT (3 OF 3)</p>	<p>REVISED APR. 2026</p> <p>SD-03</p>
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NOTES:

1. ALL SPEC. ITEM NUMBER REFERENCES SHALL REFERENCE THE 5TH EDITION OF THE NCTCOG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
2. CONCRETE SHALL BE 3,600 PSI, CLASS F (PER SPEC. 702.3).
3. TOP OF INLET TO SLOPE 2% TOWARDS STREET OR PER PLAN.
4. CENTER SUPPORT BEAM REQUIRED FOR 15' AND 20' STANDARD CURB INLETS.
5. ADDITIONAL REINFORCING STEEL TO BE PLACED AROUND MANHOLE OPENING.
6. WING LENGTH MAY BE DECREASED BASED UPON SITE SPECIFIC CONDITIONS. CITY MUST APPROVE SHORTER LENGTH.
7. PIPE SHALL BE PLACED AT DOWNSTREAM END INLET. MANHOLE COVER SHALL BE PLACED AT UPSTREAM END AT INLET.
8. MANHOLE COVERS INSIDE OPENING SHALL BE 30". INLET TOP WILL NEED TO BE CAST IN PLACE IN ORDER TO ACCOMMODATE 30" OPENING/COVER.
9. TWO MANHOLES ARE REQUIRED ON 15' AND 20' INLETS.
10. NOT TO SCALE



NOTES:
 1. NOT TO SCALE



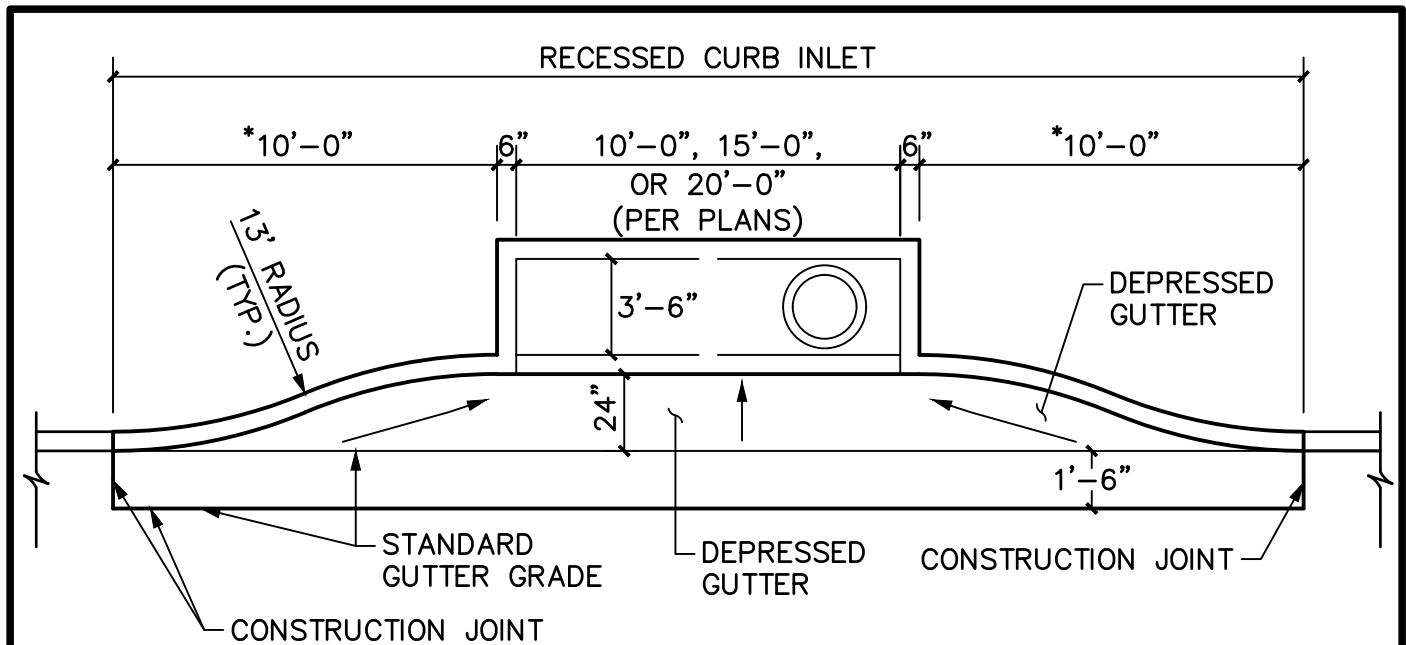
CITY OF
ALEDO

City of Aledo
Construction Standards

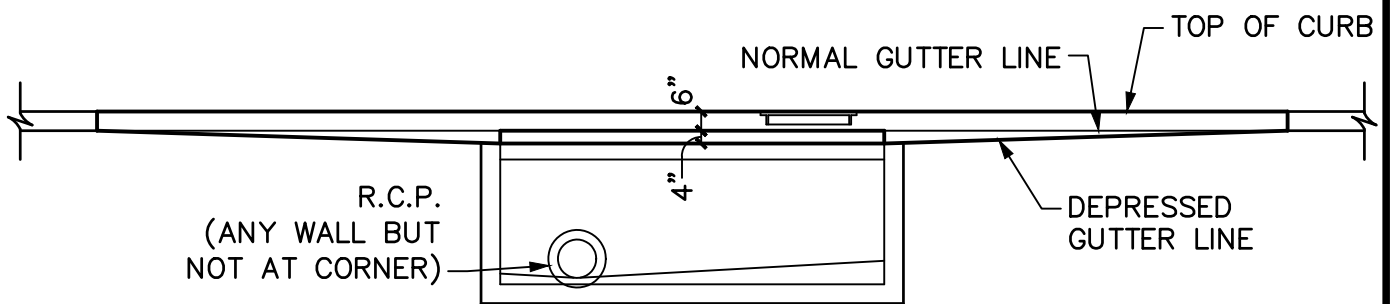
STANDARD CURB INLET
 THROAT

REVISED
 APR. 2026

SD-05




PLAN

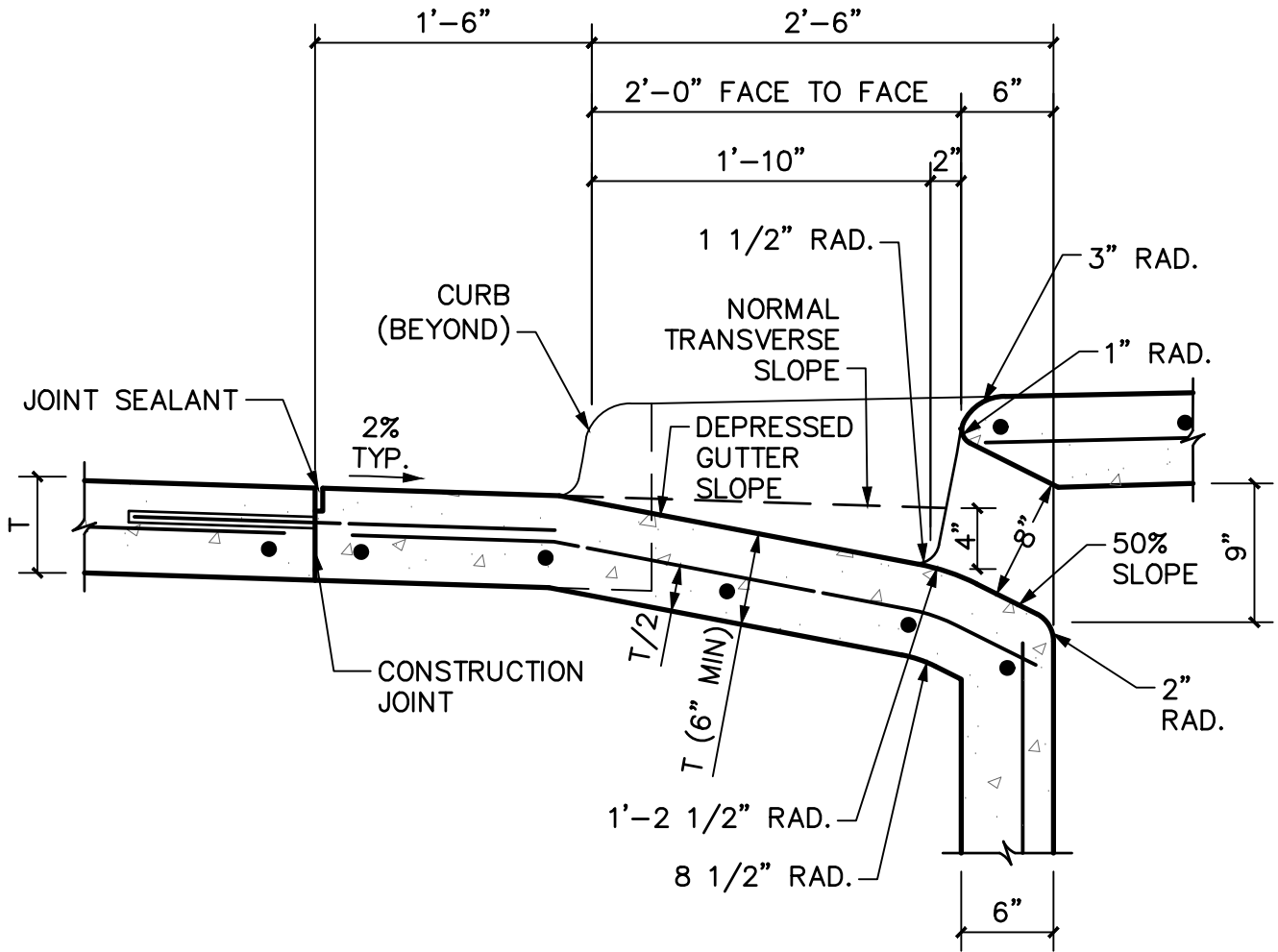


PROFILE

NOTES:

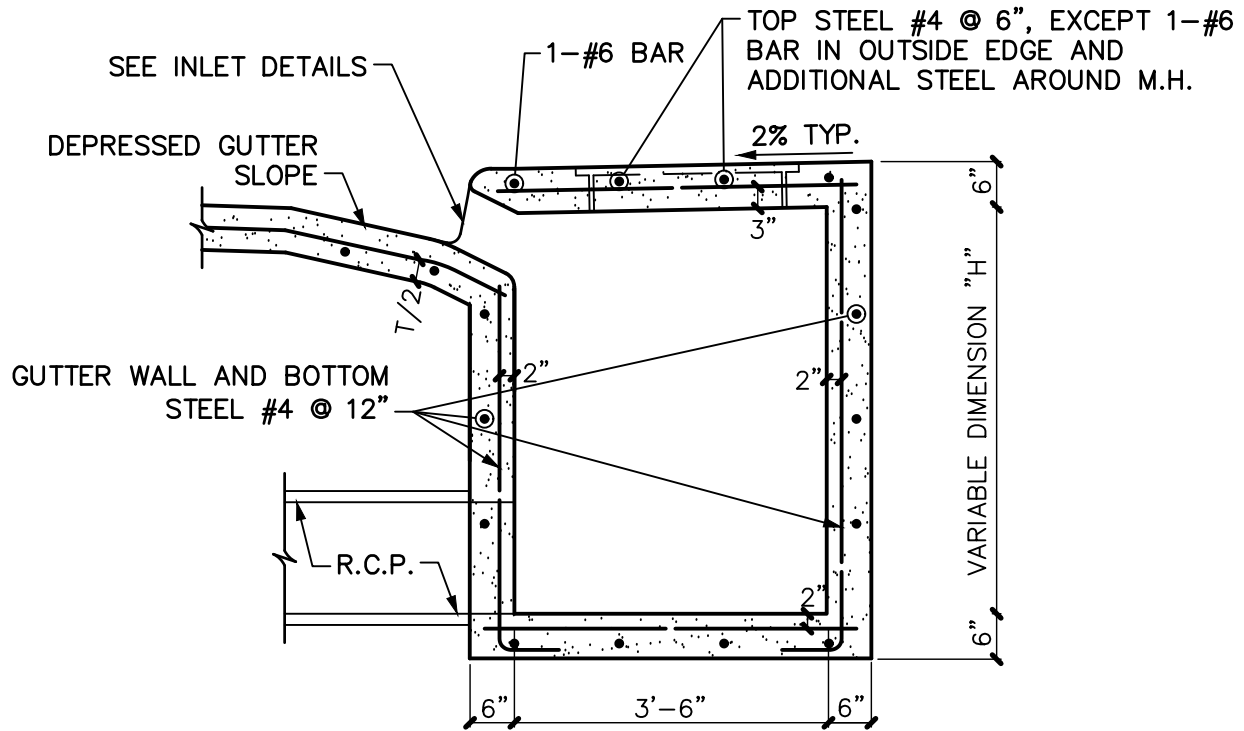
1. ALL SPEC. ITEM NUMBER REFERENCES SHALL REFERENCE THE 5TH EDITION OF THE NCTCOG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
2. CONCRETE SHALL BE 3,600 PSI, CLASS F (PER SPEC. 702.3).
3. TOP OF INLET TO SLOPE 2% TOWARDS STREET OR PER PLAN.
4. CENTER SUPPORT BEAM REQUIRED FOR 15' AND 20' STANDARD CURB INLETS.
5. ADDITIONAL REINFORCING STEEL TO BE PLACED AROUND MANHOLE OPENING.
6. WING LENGTH MAY BE DECREASED BASED UPON SITE SPECIFIC CONDITIONS. CITY MUST APPROVE SHORTER LENGTH.
7. MANHOLE COVERS INSIDE OPENING SHALL BE 30". INLET TOP WILL NEED TO BE CAST IN PLACE IN ORDER TO ACCOMMODATE 30" OPENING/COVER.
8. TWO MANHOLES ARE REQUIRED ON 15' AND 20' INLETS.
9. NOT TO SCALE

 CITY OF ALEDO	<h2 style="margin: 0;">City of Aledo</h2> <h3 style="margin: 0;">Construction Standards</h3>	RECESSED CURB INLET	REVISED APR. 2026
			SD-06

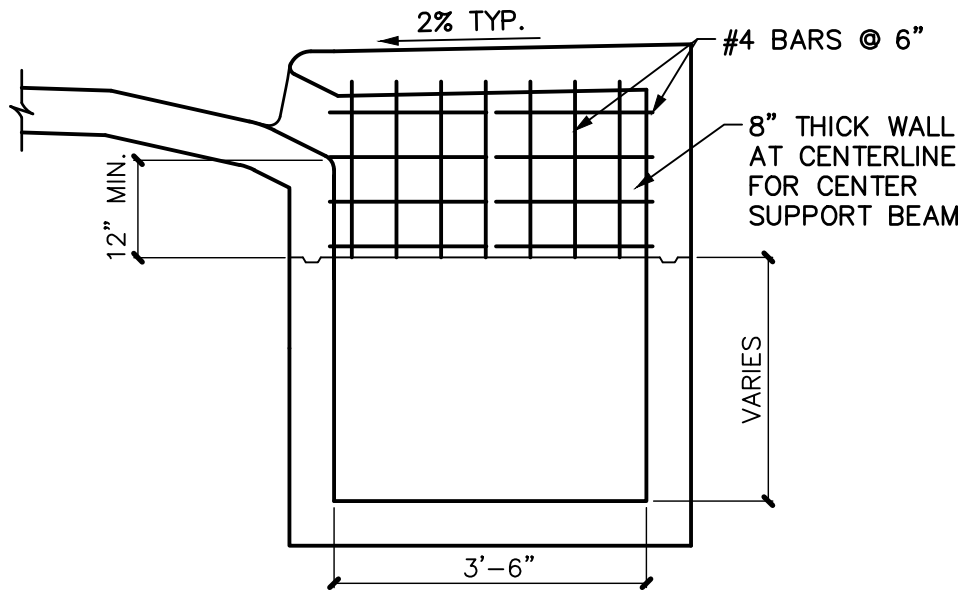


NOTES:
1. NOT TO SCALE





INLET SECTION FOR RECESSED AND STANDARD INLETS

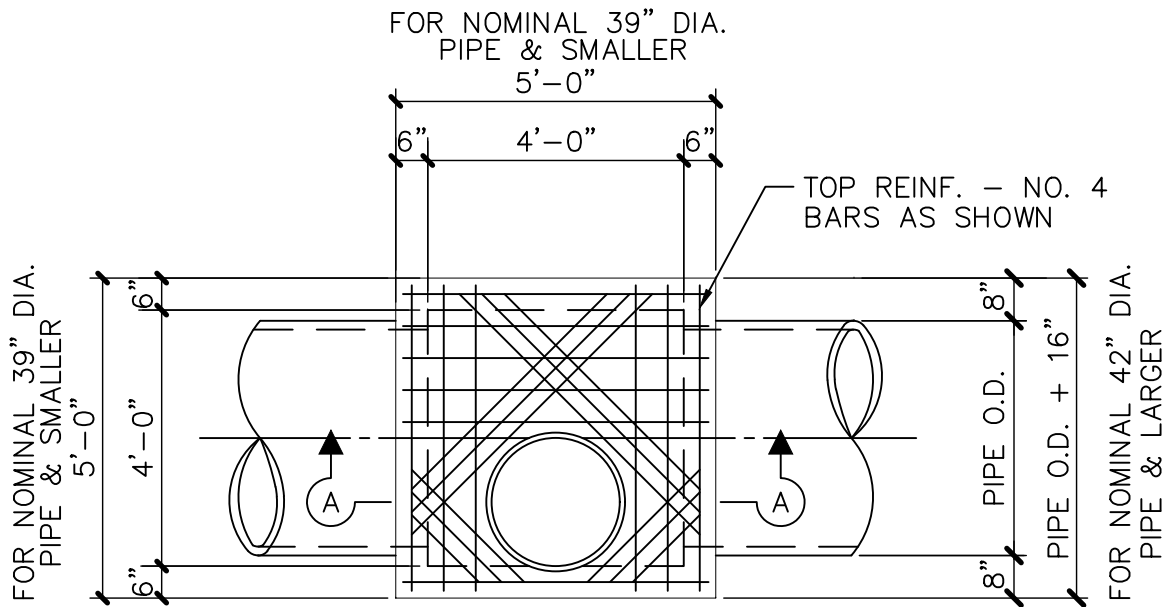


CENTER SUPPORT BEAM FOR 15' AND 20' RECESSED AND STANDARD INLETS

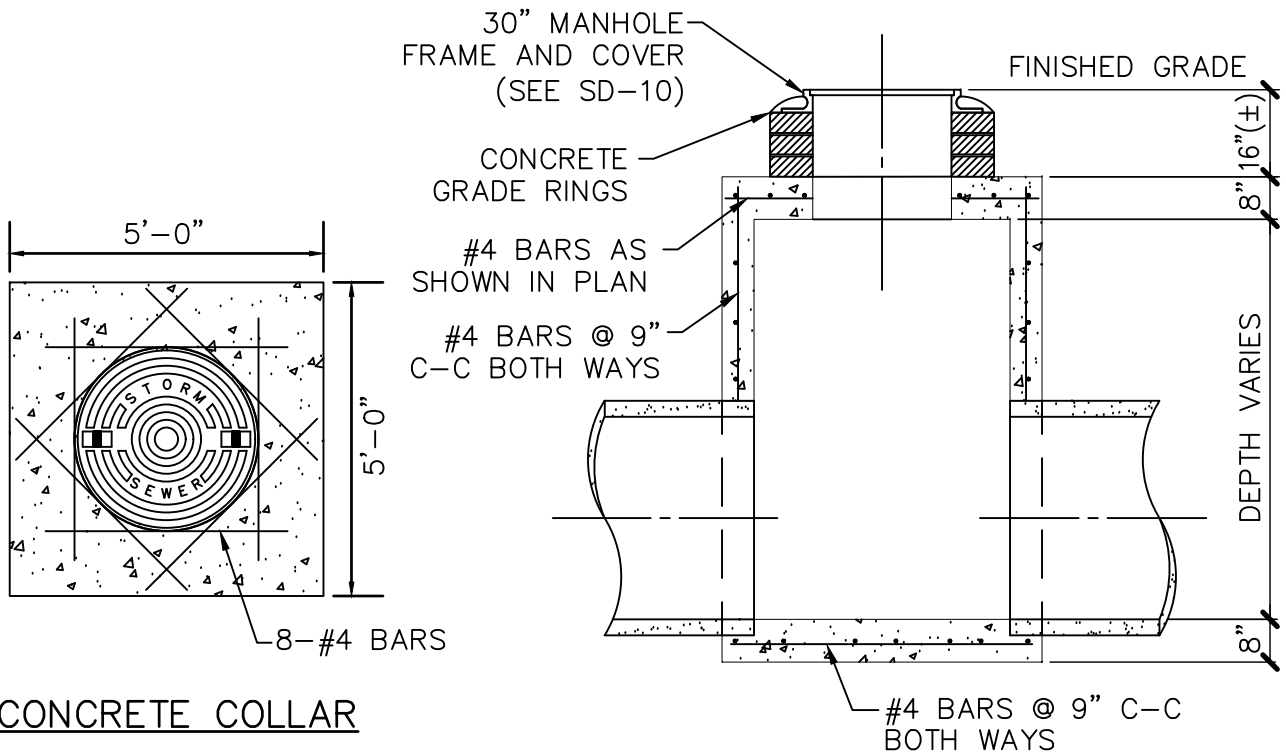
NOTES:

1. ALL SPEC. ITEM NUMBER REFERENCES SHALL REFERENCE THE 5TH EDITION OF THE NCTCOG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
2. CONCRETE SHALL BE 4,200 PSI, CLASS F (PER SPEC. 702.3).
3. TOP OF INLET TO SLOPE 2% TOWARDS STREET OR PER PLAN.
4. REINFORCING STEEL LAYOUT APPLICABLE TO BOTH RECESSED AND ON-GRADE CURB INLETS.
5. NOT TO SCALE





PLAN VIEW

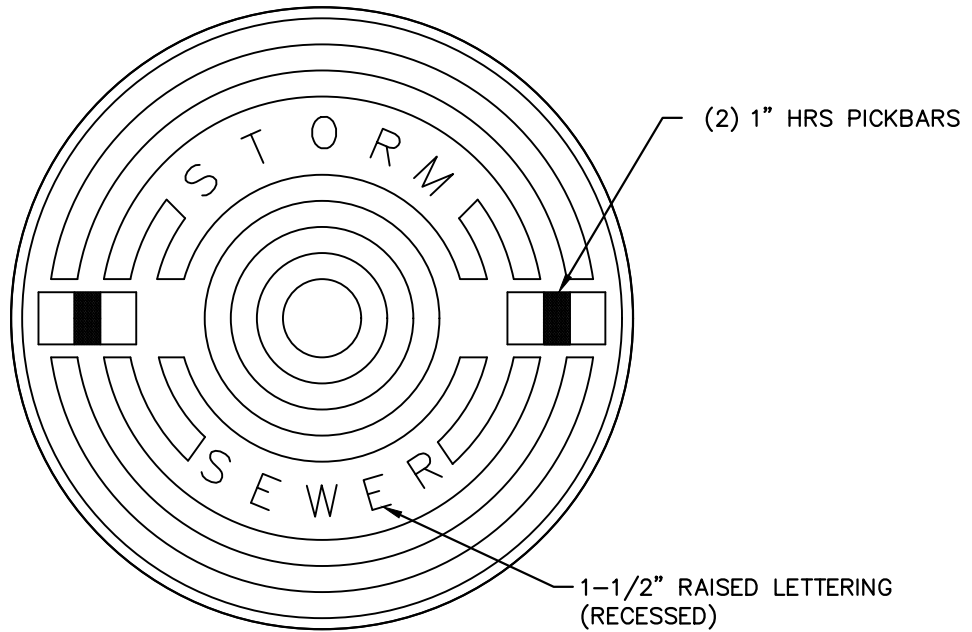


SECTION A-A

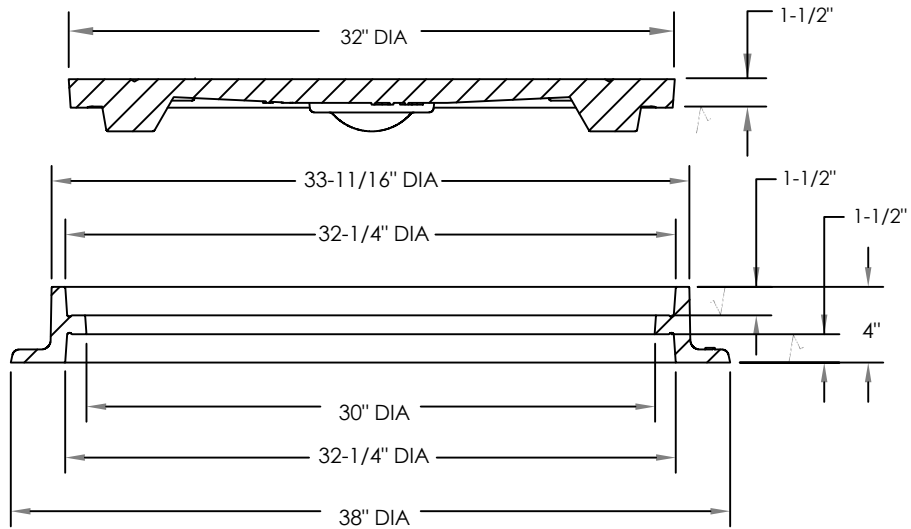
CONCRETE COLLAR

NOTES:

1. ALL SPEC. ITEM NUMBER REFERENCES SHALL REFERENCE THE 5TH EDITION OF THE NCTCOG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
2. CONCRETE SHALL BE CLASS F (PER SPEC. ITEM 702.3).
3. 5'X5' CONCRETE COLLAR OF 6" 3600 PSI CLASS "C" CONCRETE SHALL BE PROVIDED FOR MANHOLE LIDS LOCATED IN ASPHALT PAVING OR OUTSIDE OF PAVING LIMITS.
4. NOT TO SCALE



TOP VIEW



SECTION VIEW

NOTE:
1. NOT TO SCALE



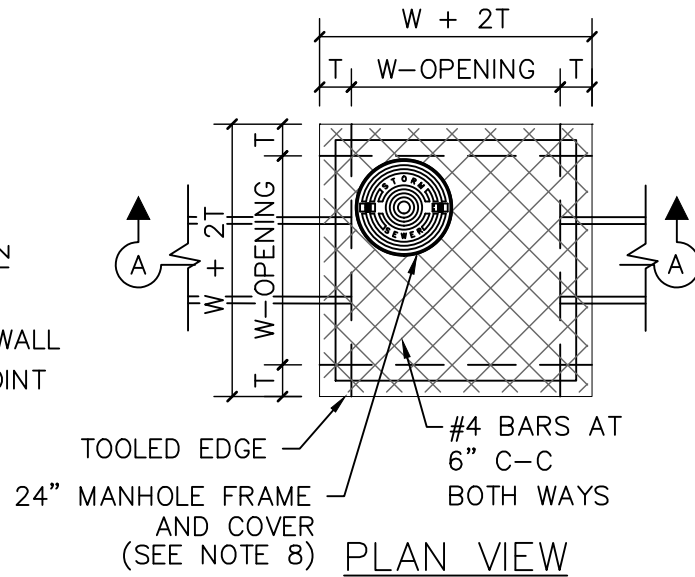
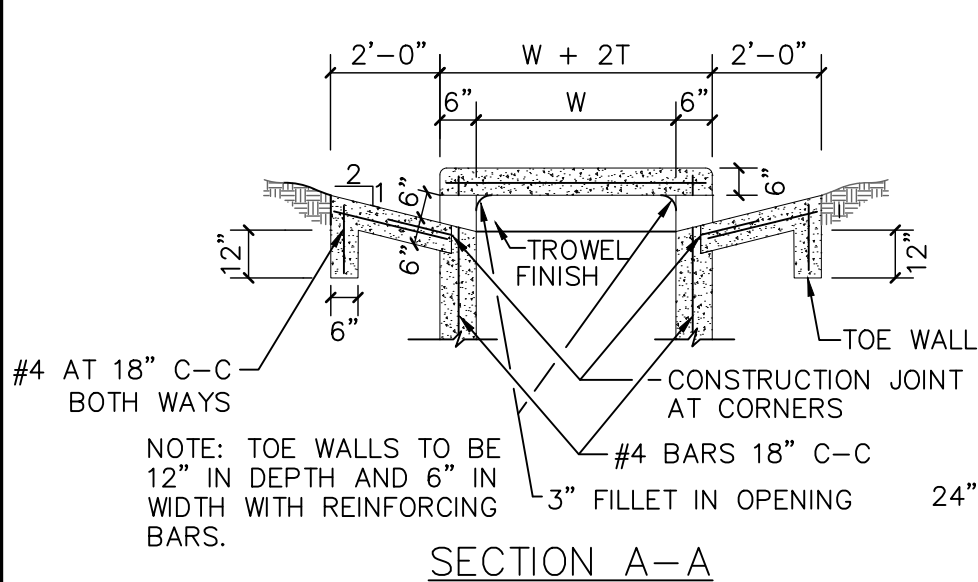
CITY OF
ALEDO

City of Aledo
Construction Standards

MANHOLE FRAME &
COVER

REVISED
APR. 2026

SD-10

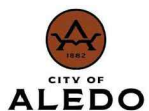


NOTES:

1. ALL SPEC. ITEM NUMBER REFERENCES SHALL REFERENCE THE 5TH EDITION OF THE NCTCOG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
2. CONCRETE FOR DROP INLETS SHALL BE CLASS F (PER SPEC. ITEM 702.3).
3. LAYERS OF REINFORCING STEEL NEAREST THE INTERIOR AND EXTERIOR SURFACES SHALL HAVE A COVER OF 2" TO THE CENTER OF BARS, UNLESS OTHERWISE NOTED.
4. FOR DETAILS OF REINFORCING TO LOWER PORTIONS OF INLET, SEE APPROPRIATE SQUARE MANHOLE DETAILS.
5. DEPTH OF DROP INLET FROM FINISHED GRADE TO FLOW LINE OF INLET IS VARIABLE. APPROXIMATE DEPTH SHALL BE SHOWN ON PLANS AT LOCATION OF INLET.
6. ALL STANDARD DROP INLETS SHALL HAVE ONE OPENING ON EACH SIDE UNLESS SHOWN ON PLANS.
7. DECK MAY BE REINFORCED THE SAME AS STANDARD SQUARE STORM DRAIN MANHOLE.
8. NOT TO SCALE

INLET SIZE	T	W
2' SQUARE	7"	2'-0"
4' SQUARE	7"	4'-0"
5' SQUARE	8"	5'-0"
6' SQUARE	9"	6'-0"
7' SQUARE	9"	7'-0"
8' SQUARE	9"	8'-0"

FOR LOWER PORTION OF 2' SQUARE DROP INLET USE REINF. STEEL DETAILS OF 4' SQUARE MANHOLE AND ELIMINATE

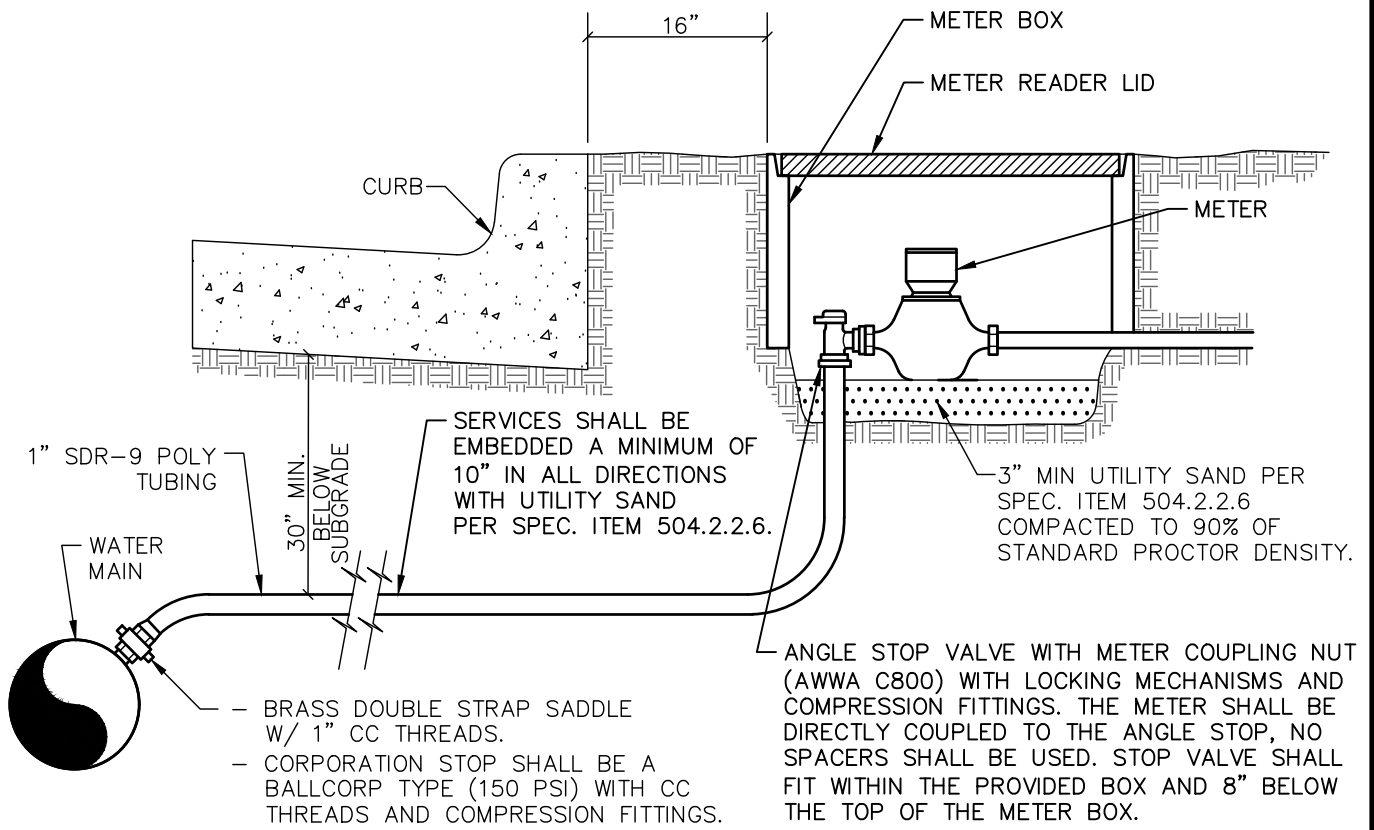


City of Aledo
Construction Standards

STANDARD DROP INLET

REVISED
APR. 2026

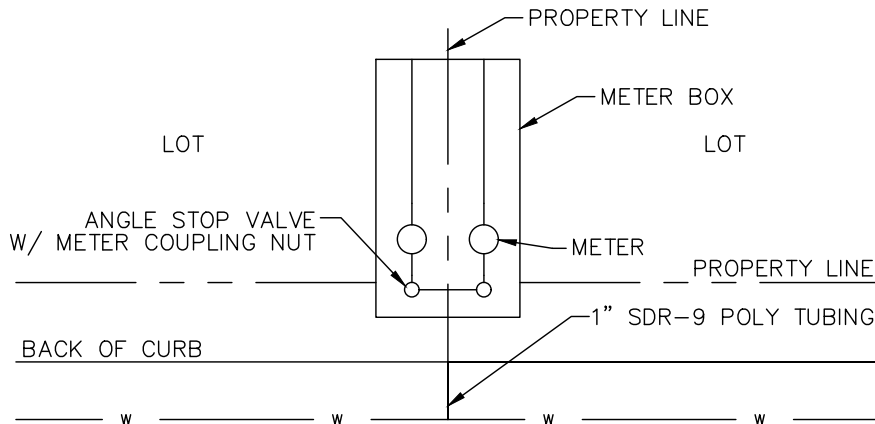
SD-11



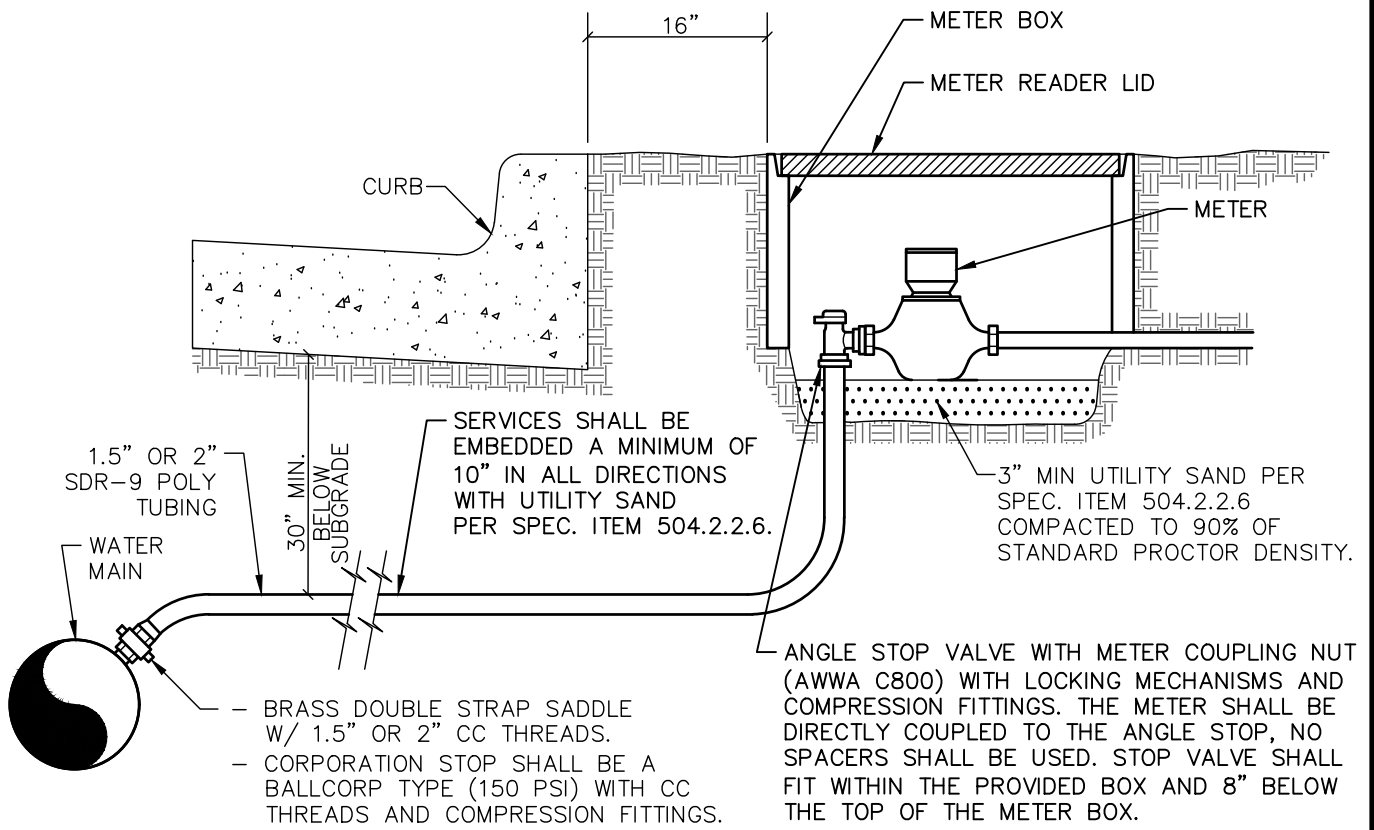
SINGLE METER SERVICE LAYOUT

NOTES:

1. ALL SPEC. ITEM NUMBER REFERENCES SHALL REFERENCE THE 5TH EDITION OF THE NCTCOG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
2. ALL RESIDENTIAL SERVICES SHALL BE 3/4" BULLHEAD ASSEMBLY SET ON PROPERTY LINE.
3. NO FLARED FITTINGS ALLOWED.
4. DO NOT USE PIPE DOPE OR GLUE.
5. INDICATE LOCATION OF WATER SERVICE WITH A 3" TALL "W" INSCRIBED IN THE FACE OF THE CURB.
6. BULLHEAD CONNECTIONS SHALL BE APPROVED BY THE CITY PRIOR TO INSTALLATION.
7. METER BOX SHALL BE H-20 RATED IF IN DRIVEWAY.
8. NOT TO SCALE



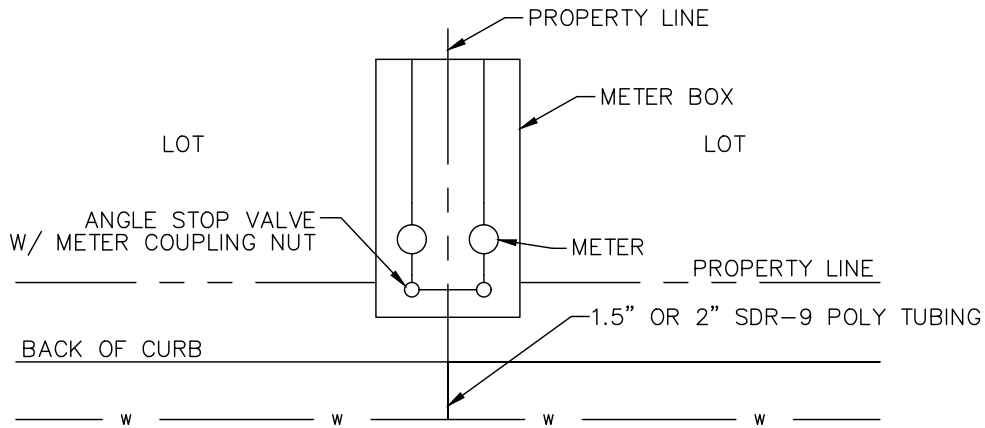
BULLHEAD SERVICE LAYOUT



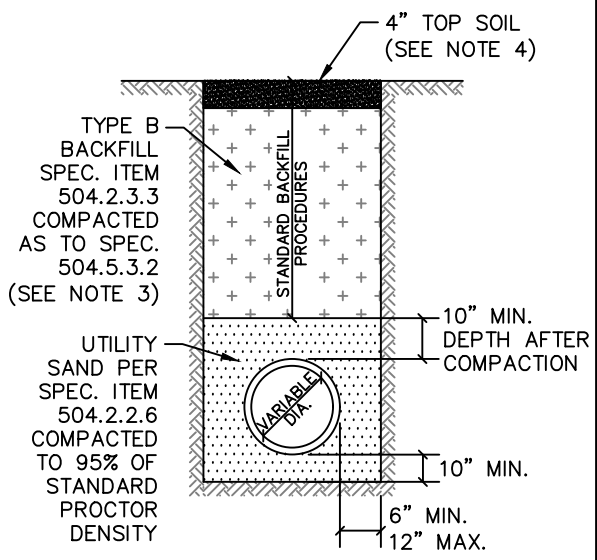
SINGLE METER SERVICE LAYOUT

NOTES:

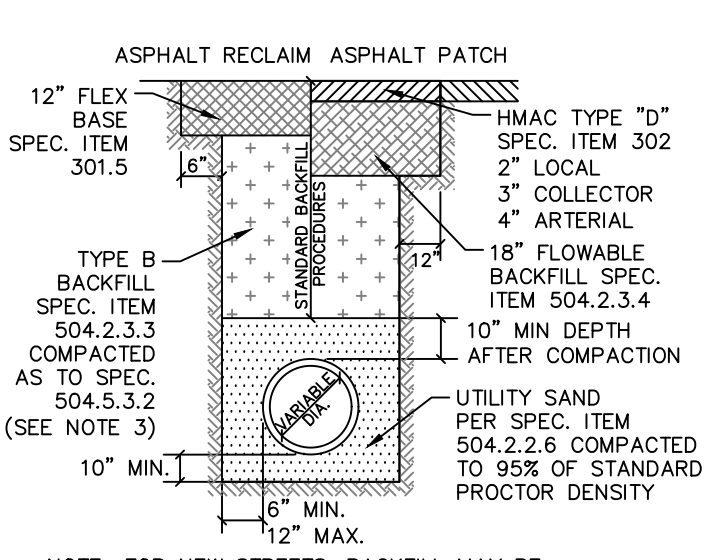
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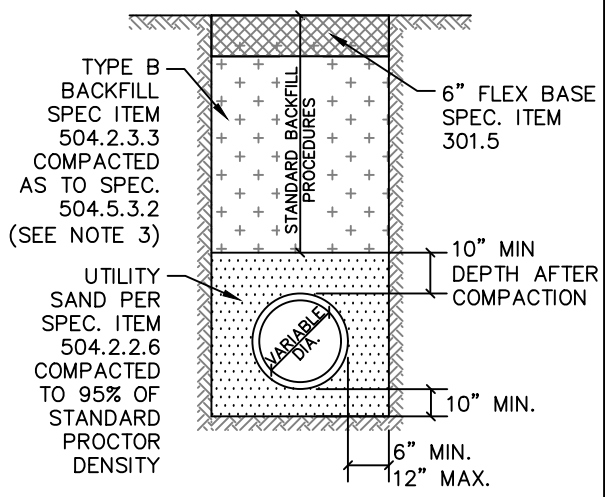
BULLHEAD SERVICE LAYOUT



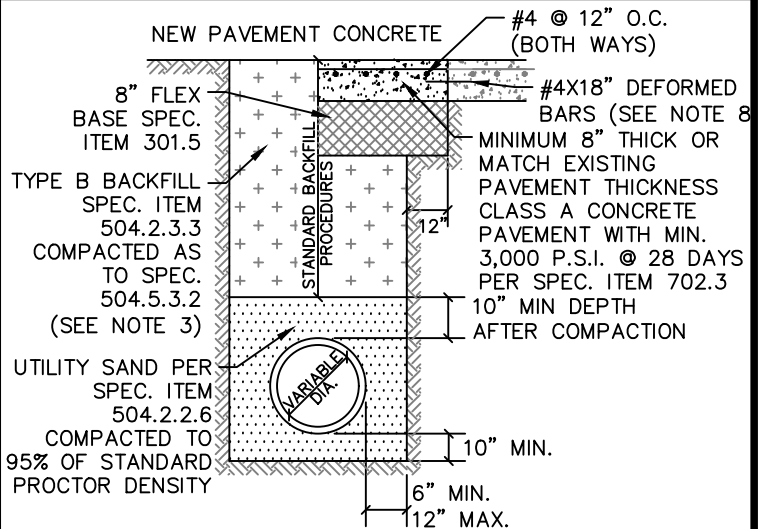
UNPAVED AREA



ASPHALT PAVEMENT



GRAVEL SURFACE



CONCRETE PAVEMENT

NOTES:

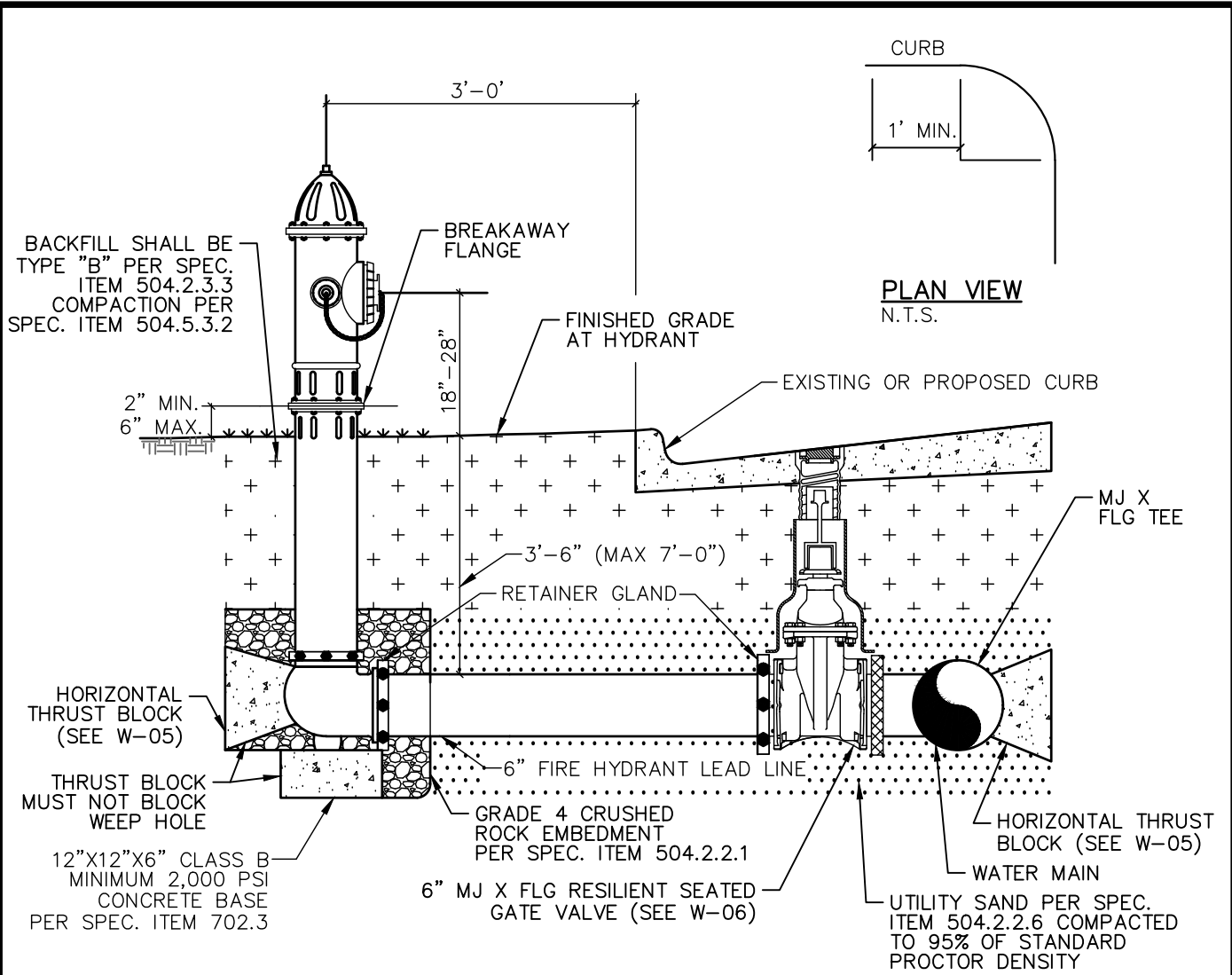
1. ALL SPEC. ITEM NUMBER REFERENCES SHALL REFERENCE THE 5TH EDITION OF THE NCTCOG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
2. AT THE END OF EACH WORK DAY ALL SPOILS SHALL BE REMOVED FROM THE CITY R.O.W. UNLESS PRIOR WRITTEN PERMISSION IS OBTAINED FROM THE CITY TO STORE SPOILS IN DESIGNATED SPOIL STORAGE AREAS THAT DO NOT OBSTRUCT AUTOMOBILE OR PEDESTRIAN TRAFFIC.
3. ROCKS GREATER THAN 3" IN DIAMETER SHALL BE REMOVED FROM ANY NATIVE MATERIAL USED AS BACKFILL.
4. TOPSOIL SHALL BE 4" IN DEPTH AND SHALL BE LOOSE AND FREE OF ROCKS OR CLODS GREATER THAN 1/4" IN DIAMETER. ALL TOPSOIL SHALL BE APPROVED BY THE CITY PRIOR TO INSTALLATION.
5. ALL PAVEMENT SHALL BE REMOVED ALONG NEAT SAW CUT LINES PER SPEC. ITEM 402.3.
6. BLUE UNDERGROUND WATER LINE WARNING TAPE OF MIN 4" WIDTH SHALL BE INSTALLED ABOVE THE EMBEDMENT MATERIAL.
7. A MAXIMUM OF 50 FT OF OPEN TRENCH WILL BE ALLOWED AT ANY TIME, UNLESS APPROVED BY THE CITY.
8. DEFORMED BARS DOWELED AND EPOXYED MIN. 6" INTO EXISTING PAVEMENT @ 12" O.C. (TYP).
9. IN ACCORDANCE TO NCTCOG 506.7.3, ALL NEW WATER LINES SHALL BE PURGED (PIGGED AND/OR FLUSHED) AS DIRECTED BY THE INSPECTOR.
10. IF GROUND WATER IS IN SUFFICIENT QUANTITY TO CAUSE SAND TO PUMP, THEN USE CRUSHED ROCK AS EMBEDMENT.
11. NOT TO SCALE



City of Aledo
CITY OF
ALEDO Construction Standards

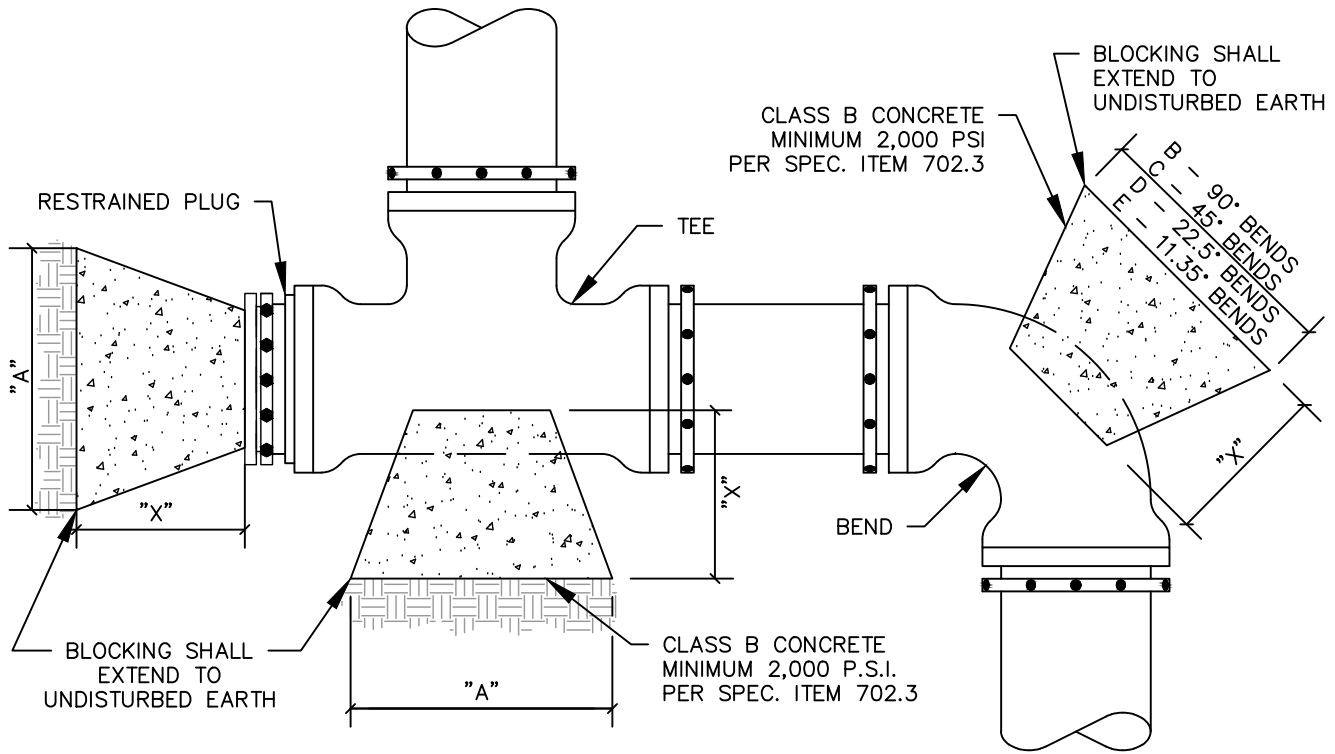
WATER MAIN EMBEDMENT

REVISED
APR. 2026
W-03



NOTES:

1. ALL SPEC. ITEM NUMBER REFERENCES SHALL REFERENCE THE 5TH EDITION OF THE NCTCOG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
2. ALL FIRE HYDRANTS SHALL CONFORM TO AWWA C502. FIRE HYDRANTS SHALL HAVE A 5 1/4" MIN VALVE OPENING AND AN INSIDE BARREL DIAMETER OF APPROXIMATELY 7". ALL HYDRANTS SHALL BE EQUIPPED WITH A BREAKAWAY FLANGE.
3. ALL BELOW GROUND IRON ASSEMBLES SHALL BE WRAPPED IN POLYETHYLENE ACCORDING TO AWWA C105.
4. RESILIENT SEATED GATE VALVE SHALL CONFORM TO AWWA C509.
5. FIRE HYDRANT LEADS GREATER THAN A SINGLE PIPE JOINT REQUIRE JOINT THRUST RETAINERS.
6. FIRE HYDRANT SHALL BE PLACED ON THE EXTENDED LOT LINE WHEN POSSIBLE.
7. FIRE HYDRANT SHALL BE LOCATED A MINIMUM 1 FT. OUTSIDE OF THE AREA BETWEEN THE P.C.'S OF THE CORNER TURNING RADIS AT THE INTERSECTIONS. (SEE PLAN VIEW)
8. FIRE HYDRANT NO CLOSER THAN 12" TO EXISTING OR PROPOSED SIDEWALKS.
9. ALL FIRE HYDRANTS SHALL BE AT LEAST 42 INCHES FROM ANY ABOVE GROUND OBSTRUCTIONS, SUCH AS GUARDRAILS, RETAINING WALLS, BOLLARDS, ETC.
10. FIRE HYDRANT SHALL BE OPEN LEFT, COUNTER-CLOCKWISE.
11. 4" BLUE RAISED PAVEMENT MARKER SHALL BE PROVIDED AND INSTALLED AT THE STREET CENTERLINE ADJACENT TO THE FIRE HYDRANT.
12. NOT TO SCALE



HORIZONTAL BLOCKING TABLE

PIPE SIZE	"X" DIM.	PLUGS & TEES		90° BENDS		45° BENDS		22.50° BENDS		11.25° BENDS	
		"A"	MIN. AREA (sf)	"B"	MIN. AREA (sf)	"C"	MIN. AREA (sf)	"D"	MIN. AREA (sf)	"E"	MIN. AREA (sf)
6"	1'-6"	1'-9"	3.18	2'-1"	4.50	1'-7"	2.43	1'-1"	1.24	1'-0"	1.00
8"	1'-6"	2'-5"	5.65	2'-10"	8.00	2'-1"	4.33	1'-6"	2.21	1'-1"	1.11
10"	1'-6"	3'-0"	8.84	3'-6"	12.50	2'-7"	6.76	1'-10"	3.45	1'-4"	1.73
12"	1'-6"	3'-7"	12.72	4'-3"	17.99	3'-1"	9.74	2'-3"	4.96	1'-7"	2.49
16"	2'-0"	4'-9"	22.62	5'-8"	31.99	4'-2"	17.31	2'-12"	8.83	2'-1"	4.43

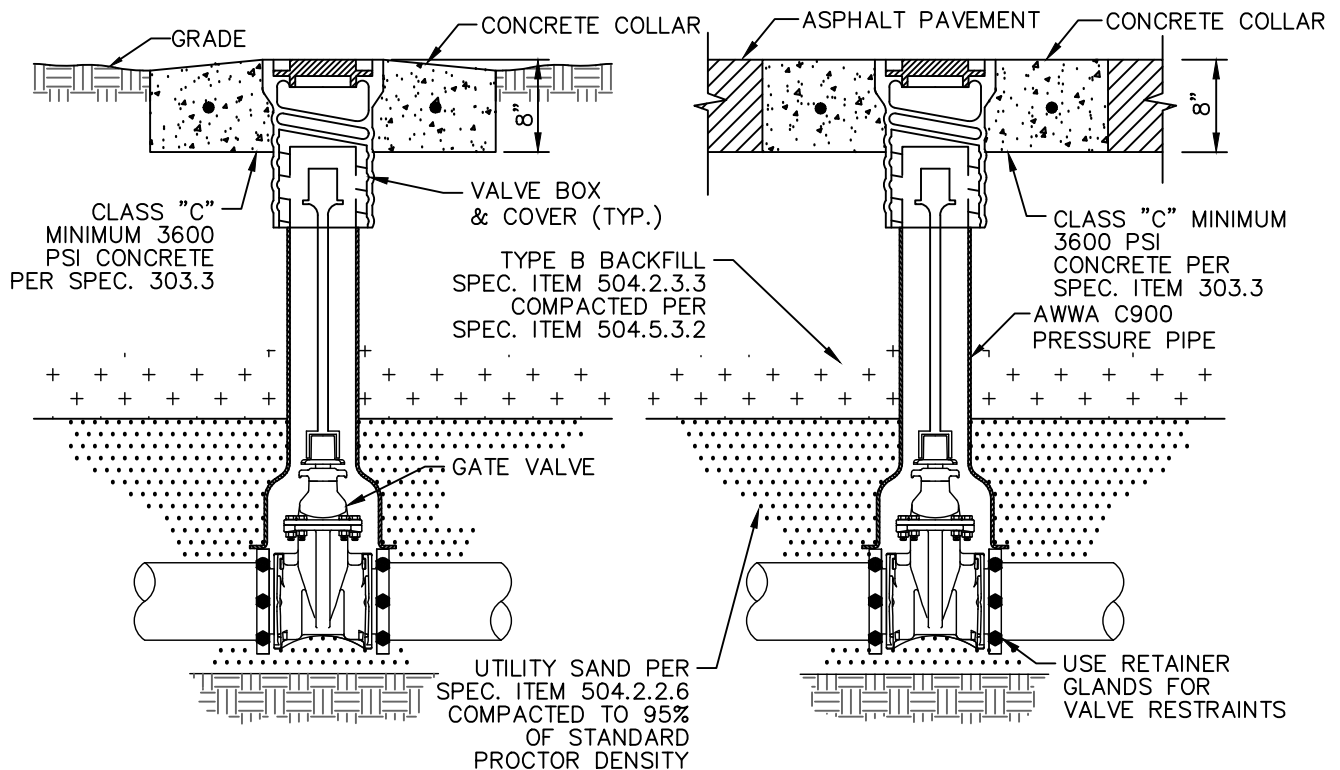
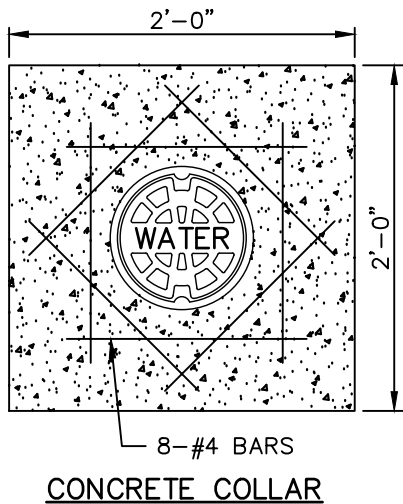
DIMENSION "X" TO BE A MINIMUM OF 1'-6", BUT IS TO BE INCREASED WHERE NECESSARY TO PROVIDE BEARING AGAINST UNDISTURBED TRENCH WALL.

NOTES:

1. ALL SPEC. ITEM NUMBER REFERENCES SHALL REFERENCE THE 5TH EDITION OF THE NCTCOG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
2. BEARING AREAS SHOWN ARE BASED ON 225 PSI TEST PRESSURE, 3,000 PSF ALLOWABLE SOIL BEARING PRESSURE, AND 1.5 SAFETY FACTOR.
3. THE ENGINEER SHALL PROVIDE A SEPARATE BLOCKING TABLE WHEN THE CONDITIONS DO NOT MEET THE ABOVE ASSUMPTIONS.
4. WRAP ALL BELOW GROUND IRON ASSEMBLIES IN POLYETHYLENE ACCORDING TO AWWA C105.
5. ALL TEES, BENDS, PLUGS, ETC. SHALL BE MECHANICALLY RESTRAINED.
6. BLOCKING FOR LINES LARGER THAN 16" SHALL BE DESIGNED FOR THE SPECIFIC LOCATION AND SHOWN ON THE DRAWINGS.
7. NOT TO SCALE

NOTES:

1. ALL SPEC. ITEM NUMBER REFERENCES SHALL REFERENCE THE 5TH EDITION OF THE NCTCOG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
2. GATE VALVE SHALL BE RESILIENT SEAT TYPE WITH A NON RISING STEM, A 2-INCH SQUARE OPERATOR, AND A FULLY ENCAPSULATED WEDGE. RESILIENT SEAT GATE VALVE SHALL CONFORM TO AWWA C509.
3. THE VALVE AND JOINT ASSEMBLIES SHALL BE WRAPPED IN POLYETHYLENE ACCORDING TO AWWA C105.
4. THE JOINT TYPE SHALL BE MECHANICAL JOINT UNLESS OTHERWISE SPECIFIED IN THE PLANS.
5. STEM EXTENSIONS ARE REQUIRED WHEN THE DEPTH TO THE TOP OF THE OPERATING NUT EQUALS OR EXCEEDS 3 FEET.
6. BOX TOP INSETS ARE REQUIRED IN ALL BOX INSTALLATIONS.
7. 16" AND LARGER GATE VALVES REQUIRE CONCRETE BLOCK UNDER THE VALVE BODY. CONCRETE BLOCK SHALL BE 12"X12"X6" CLASS B MINIMUM 2,000 P.S.I. CONCRETE BASE PER SPEC. ITEM 702.3.
8. MARK LINE SIZE AND DIRECTION IN BASE BLOCK WITH LETTERS A MINIMUM OF 1-INCH IN HEIGHT.
9. GATE VALVE SHALL BE OPEN LEFT, COUNTER-CLOCKWISE.
10. CONCRETE COLLARS ARE NOT REQUIRED IN CONCRETE PAVEMENT.
11. WATER VALVE LOCATIONS SHALL BE MARKED ON THE FACE OF CURB WITH A "V" CUT.
12. WATER VALVE BOX LIDS SHALL BE DOMESTIC ONLY.
13. NOT TO SCALE



CITY OF
ALEDO

City of Aledo
Construction Standards

**WATER VALVE AND BOX
INSTALLATION**

**REVISED
APR. 2026**

W-06



APPENDIX

DESIGN STANDARDS MANUAL

City of Aledo TIA Worksheet

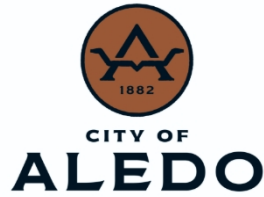
Complete and submit this worksheet (with a site plan) to the City to determine traffic impact analysis (TIA) requirements.

Section 1 - General Information	
Project Name:	Date:
Preparer Name:	Preparer Email:
Preparer Company:	Preparer Phone:

Section 2 - Proposed Land Use and Trip Information		Intensity	ITE Units	Daily Trips	AM Peak Hour Trips			PM Peak Hour Trips		
Land Use	ITE Code				In	Out	Total	In	Out	Total
1										
2										
3										
4										
5										
6										
7										
8										
9										
10										
Total:										

Submittal Type (Based on Trip Generation)	
<input type="checkbox"/> TIA Worksheet Only - Less than 100 peak hour trips	<input type="checkbox"/> TIA Required - 100+ peak hour trips
<i>Note: TIA may be required at the City's discretion to evaluate potential operational and/or safety concerns in the site's vicinity.</i>	

Section 3 - TIA Worksheet Approval (City Use Only)	
Reviewer Name:	Review Date:
Approved? <input type="checkbox"/>	Yes, comments:
<input type="checkbox"/>	No, comments:



Date: April 2, 2026
To: City Council
From: Candice Edmondson, City Manager
Subject: Approve Resolution No. 2026-R-08 adopting a Park and Facility Naming Policy

Summary:

On March 5, 2026, staff presented a proposed Park and Facility Naming Policy to City Council for discussion. Council reviewed the policy and did not request any revisions.

As Aledo continues to grow and invest in new parks, facilities, and public spaces, establishing a clear and consistent naming policy is important to ensure transparency, fairness, and alignment with the community's values and long-term vision.

The proposed policy provides structured guidance for naming and renaming City-owned properties, including:

- Objective criteria for naming and renaming parks and facilities;
- Recognition of individuals, families, and organizations with significant contributions;
- Standards for sponsorship-based naming opportunities; and
- A clear and transparent submission, review, and approval process.

Final naming authority rests with the City Council.

Recommendation:

Staff recommends City Council approve Resolution No. 2026-R-08 adopting a Park and Facility Naming Policy

Attachments:

1. Res. No. 2026-R-08 Adopt Park and Facilities Naming Policy
2. Park and Facility Naming Policy 2026.04.02

RESOLUTION 2026-R-008

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ALEDO, TEXAS, APPROVING AND ADOPTING A PARK AND FACILITY NAMING POLICY.

WHEREAS the City of Aledo, Texas (“City”), is a home rule city acting under its charter adopted by the electorate pursuant to Article XI, Section 5, of the Texas Constitution and Chapter 9 of the Local Government Code; and

WHEREAS As Aledo continues to grow and invest in new parks, facilities, and public spaces, establishing a clear and consistent naming policy is important to ensure transparency, fairness, and alignment with the community’s values and long-term vision.

WHEREAS the document has also been revised, where appropriate, to align with the City’s Unified Development Code.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF ALEDO, TEXAS, THAT:

1. The City of Aledo Park and Facilities Naming Policy, dated April 2, 2026, is hereby adopted in its entirety.
2. This Resolution shall take effect upon its adoption, and it is so resolved.

PASSED AND APPROVED this 2nd day of April, 2026.

Shane Davis, Mayor

ATTEST:

Staci L. King, City Secretary

APPROVED AS TO FORM AND LEGALITY:

Alicia K. Kreh, City Attorney



City of Aledo Park and Facility Naming Policy

Adopted April 2, 2026

I. Purpose

The purpose of this Park and Facility Naming Policy is to establish a consistent, transparent, and equitable process for naming and renaming City-owned parks, facilities, and related public spaces. This policy ensures that naming decisions reflect the values, heritage, and vision of the Aledo community while providing clear guidance for future consideration.

II. Scope

This policy applies to all City-owned parks and facilities, including but not limited to:

- Parks and open space
- Trails and trailheads
- Athletic fields and courts
- Playgrounds and other recreational amenities
- Community centers and public buildings
- Individual rooms, structures, or significant components within City facilities

This policy does not apply to small commemorative amenities such as park benches, trees, litter receptacles, or similar items intended to have a limited lifespan. Those items may be addressed under a separate policy.

III. Objectives

This policy is intended to:

- Enhance community involvement and public participation
- Establish a uniform and comprehensive naming process
- Ensure consistency with the City's values, priorities, and character
- Recognize significant contributions of land, service, or financial support
- Provide stability and thoughtful deliberation in naming and renaming decisions

IV. Naming Guidelines

In considering the naming of parks and facilities, the following guidelines shall apply:

A. Geographic and Functional Identity

Facilities may be named based on:

- Outstanding physical or ecological characteristics
- Historical significance to the City of Aledo
- Landmark significance
- Street name identity
- Subdivision or neighborhood identity
- The primary activity, function, or use of the facility
- A symbol or concept associated with Aledo's heritage or vision

B. Honorary Naming

A park or facility may be named to honor an individual, family, group, or organization that has made significant and lasting contributions to the City of Aledo through:

- Donation of land
- Substantial financial contribution
- Extraordinary civic leadership or public service

The following standards shall apply:

- Current elected officials, appointed board members, and City employees are not eligible for naming consideration while actively serving in their official capacity.
- If honoring an individual, the person should have demonstrated significant and measurable impact on the community.
- Honorary naming is intended to recognize enduring contributions of community-wide significance.

V. Financial Underwriting and Naming Rights

Naming may be considered in connection with significant financial underwriting that enables renovation, construction, operations, or acquisition of City facilities.

- Financial underwriting may include monetary gifts, grants, sponsorships, or donations.
- Naming associated with financial underwriting may be subject to a defined term.
- Any naming rights agreement shall be memorialized in a written agreement approved by City Council.
- The City reserves the right to revoke naming rights if circumstances arise that negatively impact the City's reputation or conflict with community standards.

VI. Exclusions

Naming shall not include associations with:

- Tobacco, smoking, or vaping products
- Alcohol products
- Religious organizations
- Political candidates or partisan organizations
- Subject matter deemed offensive, discriminatory, or inconsistent with community standards

No park or facility shall be given the same name as an existing public school site or public facility within the City, except where the properties abut one another.

VII. Renaming of Facilities

Renaming an existing park or facility is discouraged and shall only be considered under compelling circumstances.

In evaluating renaming requests, the City Council shall consider:

- Historical and community significance of the existing name
- Length of time the existing name has been in place

- Community impact and input
- Any contractual obligations or prior naming agreements
- The overall public interest

Renaming shall require formal approval by City Council.

VIII. Procedure

Individuals or organizations wishing to propose a name must submit a completed application to the City Manager's Office. Applications must include:

- The proposed name
- Justification for the proposed name
- Documentation of community support, if applicable
- Petitions (if submitted) must include printed names, signatures, addresses, and contact information

Applications may be submitted in hard copy or electronically.

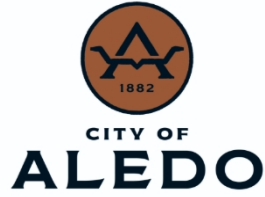
The City Manager shall review submissions for compliance with this policy and forward qualifying proposals to the City Council for consideration.

IX. Authority

Final authority for naming or renaming any City-owned park or facility rests solely with the Aledo City Council. City Council may solicit additional public input prior to taking final action.

X. Signage and Branding

All approved park and facility names shall conform to the City of Aledo's adopted branding and signage standards to ensure consistency and clarity across City properties.



Date: April 2, 2026
To: City Council
From: Candice Edmondson, City Manager
Subject: Approve cancellation of April 16, 2026 Regular City Council Meeting

Summary:

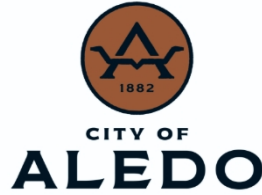
Staff does not anticipate a significant or time-sensitive agenda for this date and therefore recommends canceling the meeting.

Recommendation:

Cancellation of the April 16, 2026 Regular City Council Meeting.

Attachments:

None



Date: April 2, 2026
To: City Council
From: Grant Fore, Senior Planner, Berkley Group
Subject: **PUBLIC HEARING:** Consider Ordinance No. 2026-O-15 regarding a change in zoning from an interim classification of (AG) Agricultural to (C-3) Regional Commercial for the property located at 2 Dean Drive, Aledo, TX, 76008, located along Dean Drive and south of the intersection of Dean Drive and Bankhead Highway, being Block 1, Lots 2R1, 2R2, 2R3, 2R4, 2R5, 5.23 acres out of the Mid-Park Business Community

Summary:

PLANNING AND ZONING COMMISSION RECOMMENDATION: At the March 12th, 2026 regular meeting, the Planning and Zoning Commission unanimously recommended approval of this change in zoning.

Property Information

OWNER: Moncrief Properties, LLC

APPLICANT: Tony Aaron

LOCATION: 2 Dean Drive, Aledo, TX 76008, further described as: Lots 2R1, 2R2, 2R3, 2R4, 2R5, Mid-Park Business Community

SIZE: 5.23 acres

EXISTING ZONING: AG

PROPOSED ZONING: C-3 Regional Commercial

EXISTING USE: Magnolia Learning Academy/Vacant

PROPOSED USE: Commercial

Public Notice

Staff completed all state-mandated public hearing notice requirements by mailing letters to property owners within 200', publishing notice within the Weatherford Democrat newspaper and posting a sign at the subject property.

Background

The subject property, 5.23 acres in total, is located at 2 Dean Drive near Bankhead Highway. A replat to divide the property into (5) five individual lots was approved by the Planning and Zoning Commission and City Council in January 2026. There is an existing use on the site, Magnolia Learning Academy, and the remainder of the property is vacant.

The property is abutted by the following land uses:

- South: Aledo ISD Administrative/Transportation Offices
- West: Aledo Administrative/Public Safety Offices; Contractors Office
- East: Vacant
- North: Vacant

The City of Aledo and Moncrief Properties, LLC, entered into a development agreement on March 18, 2025 that provided for the annexation of the subject property into the City of Aledo corporate limits in order to utilize City water and sewer services. The annexation was formally approved by the City Council on June 5, 2025. The agreement also contemplated the zoning of the property being C-3 Regional Commercial. The agreement states that consideration of the zoning in accordance with the agreement was to take place at the same City Council meeting as the action on annexation; however, that did not occur.

Per state and local regulations, the subject property automatically received an interim zoning classification of AG - Agricultural upon annexation since no permanent zoning classification was assigned at that time. The purpose of this item is to formally zone the property C-3 Regional Commercial in accordance with the development agreement.

Analysis

C-3 Zoning District:

According to the Unified Development Code (UDC), the purpose of the C-3 Regional Commercial zoning district is: Non-residential uses operating as office, commercial, or neighborhood services.

The UDC also states that the intent of the C-3 Regional Commercial zoning district is to:

1. Accommodate a range and different scales of non-residential uses, including office, retail, commercial, and service uses needed by Aledo;

2. Encourage site planning, land use planning, and architectural design that create interesting and attractive environments;
3. Maintain and enhance the City's economic base and provide a range of shopping, entertainment, housing, lodging, and employment opportunities for the residents and visitors of Aledo;
4. Minimize potential negative impacts of commercial and mixed-use development on adjacent residential neighborhoods; and
5. Help ensure that the appearance and operational impacts of commercial and mixed-use developments do not adversely affect the character of the areas in which they are located.

Criteria for Consideration:

Per Section 14: Changes and Amendments to all Zoning Ordinances and districts and administrative procedures, of the Unified Development Code (UDC), D: Action of the City Council, "In making its determination, the City shall consider, but are not limited to, the following factors:

1. Whether the uses permitted by the proposed change will be appropriate in the immediate area concerned and their relationship to the general area and the City as a whole.
2. Whether the proposed change is in accord with any existing or proposed plans for providing public schools, streets, water supply, sanitary sewers, and other utilities to the area, and shall note the findings.
3. The amount of vacant land currently classified for similar development in the vicinity and elsewhere in the City, and any special circumstances which may make a substantial part of such vacant land unsuitable for development.
4. The recent rate at which land is being developed in the same zoning classification as the request, particularly in the vicinity of the proposed changes.
5. The manner in which other areas zoned for similar development will be, or are likely to be, affected if the proposed amendment is approved, and whether the zoning classification for other areas should also be modified.
6. Any other factors which will substantially affect the public health, safety, morals, or general welfare of the community.

The Future Land Use Map (FLUM) adopted in 2018 contemplates this property as Industrial. The Unified Development Code notes that industrial areas can also include regional commercial uses and shopping attractions.

Staff finds that the C-3 zoning complies with the intent of the 2018 FLUM and is compatible with the surrounding uses.

Recommendation:

Pursuant to the criteria for consideration of a zoning change outlined in the Unified

Development Code and the executed development agreement, Staff recommends approval of this change in zoning.

Attachments:

1. Attachment 1 - Dean Dr Development Agreement
2. Ord. No. 2026-O-15 Rezone 2 Dean Drive; Lots 2R1-2R-5

EXHIBIT A

PETITION REQUESTING ANNEXATION BY AREA LANDOWNERS

TO THE MAYOR OF THE GOVERNING BODY OF ALEDO, TEXAS:

The undersigned owners of the hereinafter described tract of land, which is vacant and without residents, or on which fewer than three qualified voters reside, hereby petition your honorable Body to extend the present city limits so as to include as part of the City of Aledo, Texas, the following described territory, to wit:

5.231 acres, being Lot 2, MID-PARK BUSINESS COMMUNITY, an Addition to Parker County according to the Plat thereof recorded in Plat Cabinet A, Slide 566, Plat Records, Parker County, Texas, and being more particularly described, as follows:
Beginning at a 5/8" iron rod found for the southwest corner of said Lot 2, for the northwest corner of Lot 1, ALEDO ISD MULTI-FACILITY CAMPUS ADDITION, an Addition the City of Aledo, Parker County, Texas according to the Plat thereof recorded in Plat Cabinet D, Slide 101, Plat Records, Parker County, Texas, for the east line of DEAN DRIVE (a 60' Right-of-Way);
THENCE N 00° 14'32" E, along the common line of said Lot 2 and DEAN DRIVE, 561.74 feet to a 5/8" iron rod found at the beginning of a curve to the right whose radius is 220.00 feet and whose long chord bears N 19°25'38" E, 144.19 feet;
THENCE along said curve, along the common line of said Lot 2 and DEAN DRIVE, through a central angle of 38°15'30", a distance of 146.90 feet to a 5/8" iron rod found at the end of said curve;
THENCE N 38°33'28" E, along the common line of said Lot 2 and DEAN DRIVE, 376.87 feet to a 1/2" iron rod found for the north corner of said Lot 2, for the southwest line of EAST BANKHEAD HIGHWAY (a variable width Right-of-Way), for the northwest corner of the tract described in deed as Tract Three to Bailey Ranch, a Texas Limited Partnership (undivided 78% ownership interest) by deed recorded in Volume 2018, Page 163, Official Public Records, Parker County, Texas;
THENCE S 00° 19'33" W, along the east line of said Lot 2, 993.39 feet to a 1/2" iron rod found for the southeast corner of said Lot 2, for the northeast corner of said Lot 1;
THENCE N 89°48'18" W, along the common line of said Lots 2 and 1, 279.59 feet to the POINT OF BEGINNING and containing 5.231 acres of land.

We certify that the above-described tract of land is contiguous and adjacent to the City of Aledo, Texas, and that this petition is signed and duly acknowledged by each and every person having an interest in said land.

Moncrief Properties, LLC
a Texas limited liability company

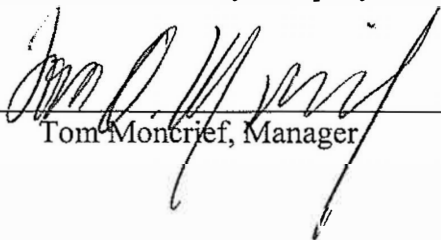
By: 
Tom Moncrief, Manager

EXHIBIT B

NOTICE OF PUBLIC HEARINGS ON ANNEXATION:

To be held on:

Public hearing No. 1 May 21, 2025 at 5:30 PM
Public hearing No. 2 May 22, 2025 at 6:00 PM
Aledo Community Center
104 Robinson Ct.
Aledo, Texas 76008

NOTICE IS HEREBY GIVEN TO ALL INTERESTED PERSONS, THAT:

The City of Aledo, Texas, proposes to institute voluntary annexation proceedings pursuant to Section 43.067, Subchapter C-3, of Chapter 43 and Section 43.106, Subchapter E, of Chapter 43 of the Local Gov't Code, to enlarge and extend the boundary limits of said city and to include a tract of land owned by Moncrief Properties, LLC and the abutting road and abutting right-of-way on Dean Drive.

The property is 5.231 acres, being Lot 2, MID-PARK BUSINESS COMMUNITY, an Addition to Parker County according to the Plat thereof recorded in Plat Cabinet A, Slide 566, Plat Records, Parker County, Texas.

The City of Aledo, Texas proposes to annex the right-of-way adjacent to FM-1187 abutting the above described property from the current northern City limit boundary to the border of the City of Fort Worth extraterritorial jurisdiction at Bankhead Road, pursuant to Section 43.1056, Subchapter E, Texas Local Government Code.

Depictions and full legal descriptions will be available in the City Secretary's office.

Two public hearings will be held by and before the City Council of the City of Aledo, Texas on May 21, 2025 at 5:30 PM and on May 22, 2025 at 6:00 PM at the Community Center, 104 Robinson Ct., Aledo, Texas 76008 for all persons interested in the above-proposed annexations. All such persons shall have the right to appear and be heard.

For questions, please contact Staci King, City Secretary, City of Aledo, Aledo City Hall, 104 Maverick St., Aledo, Texas 76008; sking@aledotx.gov; 817-441-7016.

LEGAL DESCRIPTION

BEING a 5.237 acre (228,441 square foot) tract of land situated in the James R. Brown Survey, Abstract No. 69, Parker County, Texas, and being all of Lot 2, Mid-Park Business Community, an addition to Parker County, Texas according to the plat recorded in Volume A, Page 566, Plat Records, Parker County, Texas.

NOTES:

Bearing system based on the Texas Coordinate System of 1983 (2011 adjustment), North Central Zone (4202).

A survey plat of even survey date herewith accompanies this metes and bounds description.

This document was prepared under 22 Texas Administrative Code §138.95, does not reflect the results of an on the ground survey, and is not to be used to convey or establish interests in real property except those rights and interests implied or established by the creation or reconfiguration of the boundary of the political subdivision for which it was prepared.

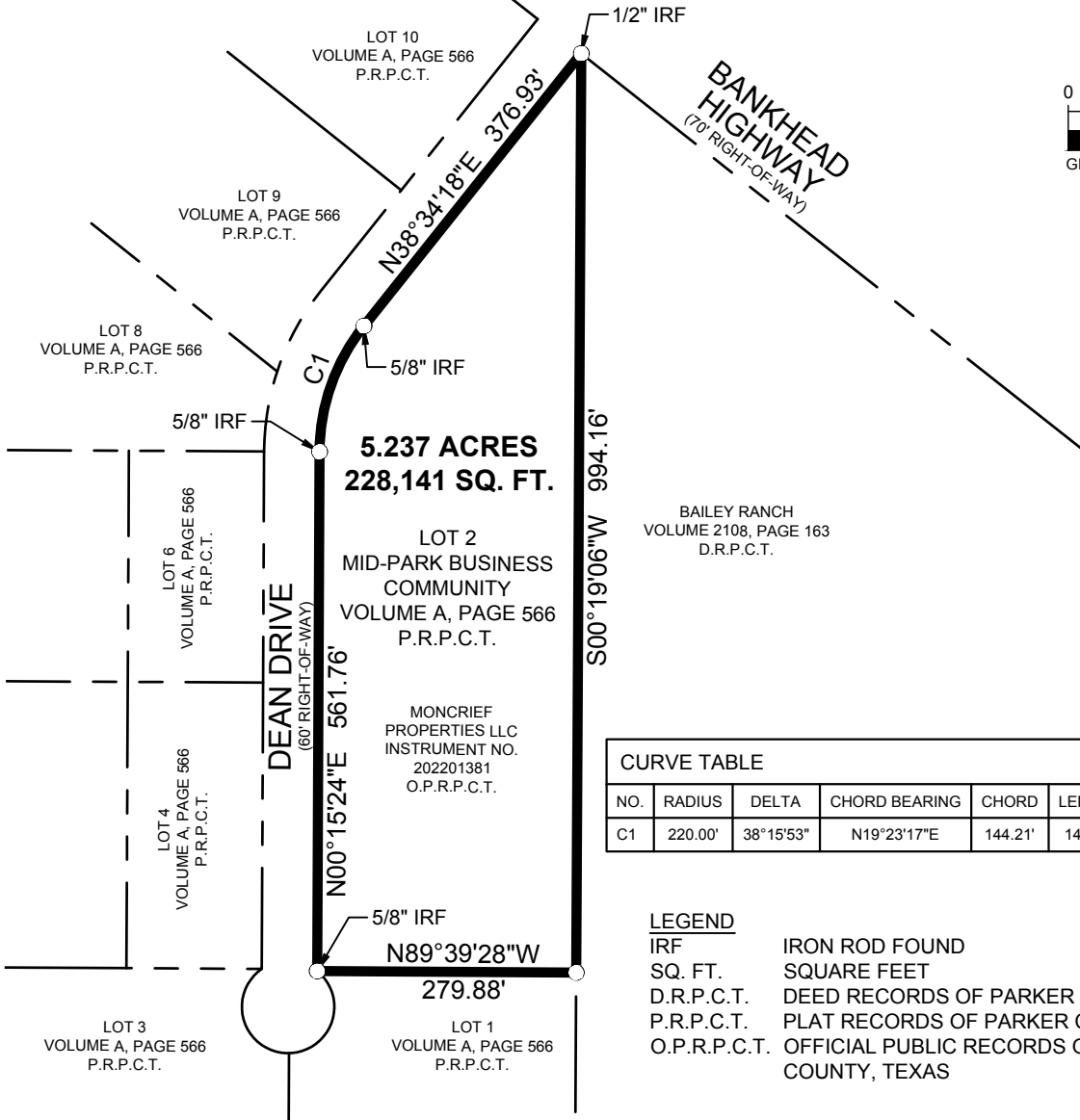
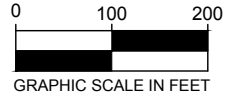
ANNEXATION EXHIBIT
 ALL OF LOT 2,
 MID-PARK BUSINESS COMMUNITY
 VOLUME A, PAGE 566
 JAMES R. BROWN SURVEY
 ABSTRACT No. 69
 PARKER COUNTY, TEXAS



SHAUN MARVIN PIEPKORN
 REGISTERED PROFESSIONAL
 LAND SURVEYOR NO. 6432
 110 W. INTERSTATE 20
 FRONTAGE ROAD, SUITE 140
 WEATHERFORD, TEXAS 76086
 PH. 682-235-9512
 shaun.piepkorn@kimley-horn.com



Kimley»Horn					
110 W. Interstate 20 Frontage Road, Suite 140 Weatherford, Texas 76086			FIRM # 10194040		Tel. No. (817) 335-6511 www.kimley-horn.com
<u>Scale</u>	<u>Drawn by</u>	<u>Checked by</u>	<u>Date</u>	<u>Project No.</u>	<u>Sheet No.</u>
N/A	DMD	SMP	06/02/2025	061310402	1 OF 2



CURVE TABLE					
NO.	RADIUS	DELTA	CHORD BEARING	CHORD	LENGTH
C1	220.00'	38°15'53"	N19°23'17"E	144.21'	146.93'

LEGEND

- IRF IRON ROD FOUND
- SQ. FT. SQUARE FEET
- D.R.P.C.T. DEED RECORDS OF PARKER COUNTY, TEXAS
- P.R.P.C.T. PLAT RECORDS OF PARKER COUNTY, TEXAS
- O.P.R.P.C.T. OFFICIAL PUBLIC RECORDS OF PARKER COUNTY, TEXAS

NOTES:

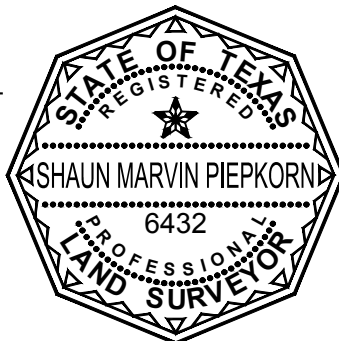
Bearing system based on the Texas Coordinate System of 1983 (2011 adjustment), North Central Zone (4202).

A metes and bounds description of even survey date herewith accompanies this survey plat.

This document was prepared under 22 Texas Administrative Code §138.95, does not reflect the results of an on the ground survey, and is not to be used to convey or establish interests in real property except those rights and interests implied or established by the creation or reconfiguration of the boundary of the political subdivision for which it was prepared.

Shaun Piepkorn

SHAUN MARVIN PIEPKORN
REGISTERED PROFESSIONAL
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ANNEXATION EXHIBIT
ALL OF LOT 2,
MID-PARK BUSINESS COMMUNITY
VOLUME A, PAGE 566
JAMES R. BROWN SURVEY
ABSTRACT No. 69
PARKER COUNTY, TEXAS

Kimley»Horn

110 W. Interstate 20 Frontage Road, Suite 140 Tel. No. (817) 335-6511
Weatherford, Texas 76086 FIRM # 10194040 www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 200'	DMD	SMP	06/02/2025	061310402	2 OF 2

LEGAL DESCRIPTION

BEING a 1.521 acre (66,272 square foot) tract of land situated in the James R. Brown Survey, Abstract No. 69, Parker County, Texas, and being a portion of Dean Drive (60' right-of-way) as shown on Mid-Park Business Community, an addition to Parker County, Texas according to the plat recorded in Volume A, Page 566 of the Plat Records of Parker County, Texas, said 1.521 acre (66,272 square foot) tract of land being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2-inch iron rod found for the northeast corner of Lot 2 of said Mid-Park Business Community, said 1/2-inch iron rod being at the intersection of the east right-of-way line of said Dean Drive with the southwest right-of-way line of Bankhead Highway (70' right-of-way);

THENCE along the east right-of-way line of said Dean Drive, the following three (3) calls:

1. South 38 degrees 34 minutes 18 seconds West, a distance of 376.93 feet to a 5/8-inch iron rod found at the beginning of a non-tangent curve to the left with a radius of 220.00 feet, a central angle of 38 degrees 15 minutes 53 seconds, and a chord bearing and distance of South 19 degrees 23 minutes 17 seconds West, 144.21 feet;
2. In a southerly direction, with said non-tangent curve to the left, an arc length of 146.93 feet to a 5/8-inch iron rod found for corner;
3. South 00 degrees 15 minutes 24 seconds West, a distance of 561.76 feet to a 5/8-inch iron rod found for the southwest corner of said Lot 2;

THENCE North 87 degrees 49 minutes 26 seconds West, a distance of 60.03 feet to a point for corner in the west right-of-way line of said Dean Drive, said point being the southeast corner of Lot 4 of said Mid-Park Business Community;

THENCE along the west right-of-way line of said Dean Drive, the following three (3) calls:

1. North 00 degrees 15 minutes 24 seconds East, a distance of 559.74 feet to a point at the beginning of a non-tangent curve to the right with a radius of 280.00 feet, a central angle of 38 degrees 15 minutes 53 seconds, and a chord bearing and distance of North 19 degrees 23 minutes 18 seconds East, 183.54 feet, from said point a 5/8-inch iron rod found for reference bears South 60 degrees 16 minutes 01 second East, a distance of 0.26 feet;
2. In a northerly direction, with said non-tangent curve to the right, an arc length of 187.00 feet to a point for corner;
3. North 38 degrees 34 minutes 18 seconds East, a distance of 376.71 feet to a 3/4-inch iron rod found at the intersection of the west right-of-way line of said Dean Drive with the southwest right-of-way line of said Bankhead Highway;

THENCE South 51 degrees 40 minutes 58 seconds East, with the southwest right-of-way line of said Bankhead Highway, a distance of 60.00 feet to the **POINT OF BEGINNING** and containing 66,272 square feet or 1.521 acres of land.

NOTES:

Bearing system based on the Texas Coordinate System of 1983 (2011 adjustment), North Central Zone (4202).

A survey plat of even survey date herewith accompanies this metes and bounds description.

This document was prepared under 22 Texas Administrative Code §138.95, does not reflect the results of an on the ground survey, and is not to be used to convey or establish interests in real property except those rights and interests implied or established by the creation or reconfiguration of the boundary of the political subdivision for which it was prepared.

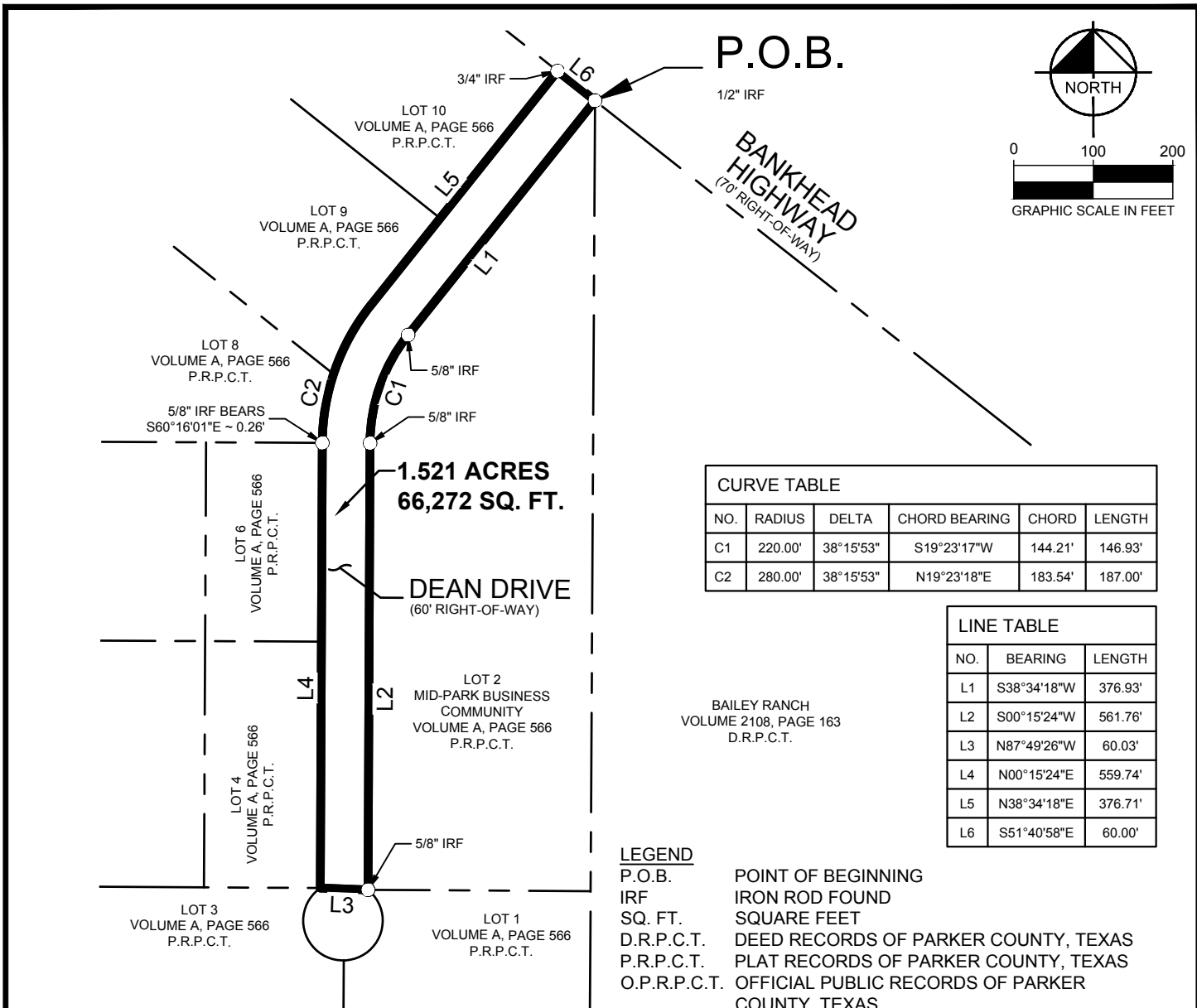
Shaun Piepkorn
 SHAUN MARVIN PIEPKORN
 REGISTERED PROFESSIONAL
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 110 W. INTERSTATE 20
 FRONTAGE ROAD, SUITE 140
 WEATHERFORD, TEXAS 76086
 PH. 682-235-9512
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ANNEXATION EXHIBIT
 PORTION OF DEAN DRIVE
 MID-PARK BUSINESS COMMUNITY
 VOLUME A, PAGE 566
 JAMES R. BROWN SURVEY
 ABSTRACT No. 69
 PARKER COUNTY, TEXAS

Kimley»Horn
 110 W. Interstate 20 Frontage Road, Suite 140 Weatherford, Texas 76086 FIRM # 10194040 Tel. No. (817) 335-6511 www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
N/A	DMD	SMP	05/31/2025	061310402	1 OF 2



NOTES:

Bearing system based on the Texas Coordinate System of 1983 (2011 adjustment), North Central Zone (4202).

A metes and bounds description of even survey date herewith accompanies this survey plat.

This document was prepared under 22 Texas Administrative Code §138.95, does not reflect the results of an on the ground survey, and is not to be used to convey or establish interests in real property except those rights and interests implied or established by the creation or reconfiguration of the boundary of the political subdivision for which it was prepared.

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**ANNEXATION EXHIBIT
PORTION OF DEAN DRIVE
MID-PARK BUSINESS COMMUNITY
VOLUME A, PAGE 566
JAMES R. BROWN SURVEY
ABSTRACT No. 69
PARKER COUNTY, TEXAS**

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Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 200'	DMD	SMP	05/31/2025	061310402	2 OF 2

DEVELOPMENT AGREEMENT

THE STATE OF TEXAS §
COUNTY OF PARKER §

This Development Agreement (this "Agreement") is entered into by the City of Aledo, Texas, a home rule law municipality situated in Parker County, Texas (the "City"), and Moncrief Properties, LLC, a Texas limited liability company ("Owner"), individually, a "Party" and, collectively, the "Parties".

RECITALS

- A. Owner owns approximately 5.23 acres of land in Parker County, Texas (the "County"), in the extraterritorial jurisdiction ("ETJ") of the City of Aledo, generally located at 2 Dean Drive, Aledo, Texas, 76008 as more particularly depicted and described in Exhibit A, and attached hereto and incorporated herein for all purposes (the "Property").
B. The Property is undeveloped and is contiguous to the City's corporate limits.
C. Owner intends to develop the Property for commercial purposes and is requesting water and sanitary sewer service from the City.
D. It is the Parties' intention that Owner will submit a petition to the City to annex the Property and will apply for planned development zoning for the Property consistent with this Agreement.
E. The Parties have the authority to enter into this Agreement pursuant to Section 212.171, et seq. of the Texas Local Government Code.
F. The purposes of this Agreement include authorizing enforcement by the City of certain municipal land use and development regulations, providing for design, construction, and inspection of City infrastructure, providing for retail water and sewer service to the Property by the City, and establishing a procedure for annexation of the Property.

NOW THEREFORE, for and in consideration of the mutual covenants of the Parties set forth in this Agreement, and for other good and valuable consideration the receipt and adequacy of which are acknowledged and agreed by the Parties, the Parties agree as follows:

ARTICLE I.
DEFINITIONS

"Assignee" means a successor to Owner as defined in Section 8.02.

"Effective Date" has the meaning set out in Section 8.23.

"Public Infrastructure" means, water, wastewater, and drainage improvements constructed to serve the Property, which shall be dedicated to the City for ownership and maintenance.

“Party” means, individually, the City, Owner, or Owner’s successors and assigns (including any Assignee) as permitted by this Agreement.

“Property” has the meaning set out in Recital A.

“Wastewater Infrastructure” has the meaning set out in Section 4.02.

“Water Infrastructure” has the meaning set out in Section 4.01.

“UDC” or “Unified Development Code” means City Ordinance No. 2023-198, together with any amendments thereto that are in effect on the Effective Date.

ARTICLE II PERMITTED USES; DEVELOPMENT REGULATIONS; PLATTING

2.01 Permitted Uses. Commercial Uses; Arts, Entertainment, and Recreation Uses, excluding swimming pools in any fitness, recreational sports, gym, or athletic club use; and Educational, Public Administration, Health Care, and Other Institutional Uses allowed in the City’s “C-3” Regional Commercial District as of the Effective Date and any additional uses in the categories listed herein permitted in “C-3” after the Effective Date shall be permitted on the Property.

2.02 Lot Sizes; Development Regulations. Owner shall develop the Property generally in accordance with the proposed plat attached as Exhibit D and incorporated herein.

2.03 Applicable Regulations for Development of Property within the City’s Corporate Limits. Except as otherwise provided by this Agreement, if the City annexes the Property pursuant to Article III, Owner shall develop the Property in accordance with: (i) this Agreement; (ii) all City ordinances that are generally applicable within the City’s corporate limits and in effect on the Effective Date, except as modified by this Agreement; (iii) final plat(s) approved by the City in accordance with the UDC; and (iv) zoning in accordance with the UDC for the Property adopted by the City, subject to Section 2.06.

2.04 Review and Approval of Plats. The City shall exercise jurisdiction over the review and approval of preliminary and final plats, amending plats, replats and minor replats for the Property. Owner shall submit a preliminary plat to the City in substantially the form attached hereto as Exhibit D.

2.05 Conflicts. In the event of any conflict between this Agreement and any City regulation, including without limitation a zoning ordinance adopted by the City Council relating to the Property, this Agreement will prevail.

ARTICLE III ANNEXATION, ZONING, AND PLATTING

3.01 Full Purpose Annexation. On or before May 1, 2025, Owner shall submit a petition to the City requesting full purpose annexation of the Property and shall cooperate with the City to annex the Property. If the City seeks to annex the Property prior to Owner’s petition for annexation, Owner may withdraw the annexation petition.

3.02 Zoning. Owner will submit an application for "C-3" Regional Commercial District zoning of the Property consistent with this Agreement to the City concurrently with submittal of the petition for full purpose annexation. The City shall process the zoning application concurrently with the annexation petition and shall set votes on annexation and zoning at the same City Council meeting.

3.03 Platting. Following annexation and zoning, Owner may then submit a preliminary plat to the City in substantially the form attached hereto as Exhibit D. Submission of a final plat or any other plat thereafter shall be done in conformance with the UDC.

**ARTICLE IV
RETAIL WATER AND WASTEWATER SERVICE;
DESIGN AND CONSTRUCTION OF PUBLIC INFRASTRUCTURE**

4.01 Retail Water Service. Once the Property is platted, Owner may submit, and the City will review construction plans submitted by or on behalf of Owner as needed to serve the Property retail water service (the "Water Infrastructure") as required by the City's design criteria and ordinances contained in the City's UDC, Aledo Engineering Design Manual, and Chapter 81 of the Aledo Municipal Code, as amended. The City shall timely review and approve the Water Infrastructure, such approval not to be unreasonably withheld, delayed, or denied. The Owner shall construct all the Water Infrastructure and the City shall inspect Water Infrastructure. Once the Water Infrastructure is complete, dedicated, and accepted by the City, retail water service to the Property will be provided by the City. The City represents that they are not requiring any oversizing.

4.02 Retail Wastewater Service. Once the Property is platted, Owner may submit, and the City will review construction plans submitted by or on behalf of Owner as needed to serve the Property retail wastewater service (the "Wastewater Infrastructure") as required by the City's design criteria and ordinances contained in the City's UDC, Aledo Engineering Design Manual, and Chapters 81 of the City Code of Ordinances, as amended. The Owner shall construct all the Wastewater Infrastructure and shall inspect Wastewater Infrastructure. Once the Wastewater Infrastructure is complete, dedicated, and accepted by the City, retail wastewater service to the Property will be provided by City. The City represents that they are not requiring any oversizing.

4.03 Reservation of Capacity. The City represents that it shall reserve capacity for water and in its wastewater system sufficient to serve the permitted uses on the Property, established in Section 2.01 herein, in accordance with state law and the Sanitary Sewer Investigation attached hereto as Exhibit E. The City acknowledges that at any time, if the City is unable to provide water and/or sanitary sewer service to serve the Property, then the City may accept a petition from the Owner to be removed from the City's respective Certificate of Convenience and Necessity.

4.04 Plan Review; Inspection; and Dedication of Water and Wastewater Infrastructure

(a) Plan Review. Owner shall submit plans and specifications for Water and Wastewater Infrastructure to serve the Property to be constructed on the Property in accordance with City design criteria and ordinances in effect on the Effective Date to the City for timely review and approval.

(b) Inspections. City employees or third-party inspectors retained in accordance with generally applicable City policies shall timely perform all inspections and testing of the Water and Wastewater Infrastructure.

(c) Dedication to the City. Owner shall dedicate the Water and Wastewater Infrastructure to the City along with all appurtenant easements and rights-of-way, upon City acceptance of such infrastructure. Following dedication of the Water and Wastewater Infrastructure to the City, the City shall have full ownership, control, and maintenance obligations for such infrastructure.

(d) As-Built Drawings. Owner shall deliver as-built drawings for the Water and Wastewater Infrastructure to the City within thirty (30) days after final inspection and acceptance by the City.

4.05 Drainage Infrastructure. Owner shall design and construct drainage infrastructure on the Property as needed to serve the Property (the "Drainage Infrastructure").

4.06 Plan Review; Inspection; and Dedication of Drainage Infrastructure.

(a) Plan Review. Owner shall submit plans and specifications for the Drainage Infrastructure in accordance with City design criteria and ordinances in effect on the Effective Date to the City for review and approval.

(b) Inspections. City employees or third-party inspectors retained in accordance with generally applicable City policies shall perform all inspections and testing of the Drainage Infrastructure.

(c) Dedication of Drainage Infrastructure to the City. Owner shall dedicate the Drainage Infrastructure to the City, along with all appurtenant easements, provided the City annexes the Property and/or any outparcels on which such infrastructure is constructed. Following dedication of the Drainage Infrastructure to the City, the City shall have full ownership, control, and maintenance obligations for such infrastructure.

(d) As-Built Drawings. Owner shall deliver as-built drawings for the Drainage Infrastructure to the City within thirty (30) days after final inspection and acceptance by the City.

**ARTICLE V
FEES**

5.01 City Development Fees. Development of the Property shall be subject to payment to the City of the following fees and charges according to the fee schedule adopted by the City Council and uniformly applicable to all development within the corporate limits of the City as of the Effective Date:

- (a) Zoning application fees;
- (b) Fees and charges for review of plans for the Public Infrastructure;
- (c) Fees and charges for inspections of the Public Infrastructure; and

(d) Water and Wastewater impact fees adopted by the City in accordance with Chapter 395 of the Texas Local Government Code and the City's impact fee ordinance on the same terms as if the Property were located within the City's corporate limits.

5.02 Exclusive Fees. Except for the fees listed in Section 5.01, no other fees or charges of any kind are due and payable to the City in connection with the development of the Property or the provision of retail wastewater service to the Property.

**ARTICLE VI
TERM OF AGREEMENT**

This Agreement will terminate on the earlier of (i) February 28, 2040; or (ii) termination of the Agreement in writing signed by Owner and the City.

**ARTICLE VII
BREACH, NOTICE AND REMEDIES**

7.01 Notification of Breach. If a Party commits a breach of this Agreement, the non-breaching Party shall give Notice to the breaching Party that describes the breach in reasonable detail.

7.02 Cure of Breach. The breaching Party shall commence curing such breach within fourteen (14) calendar days after receipt of such Notice and shall complete the cure within fourteen (14) calendar days from the date of commencement of the cure; however, if the breach is not reasonably susceptible to cure by the breaching Party within such fourteen (14) day period, the non-breaching Party shall not bring any action so long as the breaching Party has commenced to cure the default within such fourteen (14) day period and diligently completes the work within a reasonable time (not to exceed an additional thirty (30) days unless mutually agreed to between the Parties) without unreasonable cessation of the work.

7.03 Remedies for Breach. If the breaching Party does not substantially cure such breach within the stated period of time, the non-breaching Party may, in its sole discretion, and without prejudice to any other right under this Agreement, law, or equity, seek any relief available at law or in equity, including, but not limited to, an action under the Uniform Declaratory Judgment Act, specific performance, mandamus and injunctive relief; provided, however, that the non-breaching Party shall not be entitled to monetary damages or to terminate this Agreement, and each Party specifically waives any right such Party has or in the future may have to terminate this Agreement. It is understood and agreed that no Party will seek or recover actual, consequential, or any other type of monetary damages or awards, including but not limited to attorney's fees, in the event that any Party brings suit under or related to this Agreement.

**ARTICLE VIII
ADDITIONAL PROVISIONS**

8.01 Notice. Any notices, certifications, approvals, or other communications required to be given by one Party to another under this Agreement (a "Notice") shall be given in writing addressed to the Party to be notified at the address set forth below and shall be deemed given: (i) when the Notice is delivered in person to the person to whose attention the Notice is addressed; (ii) when received if the Notice is deposited in the United States Mail, certified or registered mail, return receipt requested, postage prepaid; and (iii) when the Notice is delivered by Federal Express, UPS, or another nationally recognized courier service with evidence of delivery signed by any person at the delivery address. If any date or period provided in this Agreement ends on a Saturday, Sunday, or legal holiday, the applicable period for calculating the notice shall be extended to the first business day following the Saturday, Sunday, or legal holiday. For the purpose of giving any Notice, the addresses of the Parties are set forth below. The Parties may change the information set forth below by sending Notice of such changes to the other Party as provided in this Section 8.01.

To the City:

City of Aledo, Texas
Attn: City Manager
P. O. Box 1
Aledo, Texas 76008

To Owner:

Moncrief Properties, LLC,
a Texas limited liability company
Attn: Tony Aaron

With a copy to:

Eggleston King Davis, LLP
Attn: Courtney A. Kuykendall
102 Houston Avenue
Suite 300
Weatherford, Texas 76086

8.02 Assignment.

(a) By Owner to Successor Owners. Owner has the right (from time to time without the consent of the City, but upon written Notice to the City) to assign this Agreement, in whole or in part, and including any obligation, right, title, or interest of Owner under this Agreement, to an Assignee that is an owner of any portion of the Property or will become an owner of any portion of the Property within fifteen (15) days after the assignment (an "Assignee"). Each assignment shall be in writing in substantially the form attached hereto as Exhibit C, shall be executed by Owner and the Assignee and shall obligate the Assignee to be bound by this Agreement to the extent this Agreement applies or relates to the obligations, rights, title, or interests being assigned. Owner shall provide a copy of each assignment to all Parties within fifteen (15) days after execution. From and after such assignment, the City agrees to look solely to the Assignee for the performance of all obligations assigned to the Assignee and agrees that Owner shall be released from subsequently performing the assigned obligations and from any liability that results from the Assignee's failure to perform the assigned obligations; provided, however, if a copy of the assignment is not received by the City within fifteen (15) days after execution, Owner shall not be released until the City receives such assignment. No assignment by Owner shall release Owner from any liability resulting from an act or omission by Owner that occurred prior to the effective date of the assignment unless the City approves the release in writing. Owner shall maintain written records of all assignments made by Owner to Assignees, including a copy of each executed assignment and the Assignee's Notice information as required by this Agreement, and, upon written request from any Party or Assignee, shall provide a copy of such records to the requesting person or entity.

(b) By Owner to Non-Owners. Subject to the City's prior written approval, Owner has the right, from time to time, to assign this Agreement, in whole or in part, and including any obligation, right,

title, or interest of Owner under this Agreement, to any person or entity that is not an owner of any portion of the Property (a "Non-Owner Assignee"). Each assignment shall be in writing executed by Owner and the Non-Owner Assignee in substantially the form attached hereto as Exhibit C and shall obligate the Non-Owner Assignee to be bound by this Agreement to the extent this Agreement applies or relates to the obligations, rights, title, or interests being assigned. A copy of each assignment shall be provided to all Parties within fifteen (15) days after execution. If the City approves the Non-Owner Assignee in writing (which approval shall not be unreasonably withheld or delayed if the Non-Owner Assignee can demonstrate, to the reasonable satisfaction of the City, that the Non-Owner Assignee has the financial ability to perform the assigned obligations), then the City agrees to look solely to the Non-Owner Assignee for the performance of all obligations assigned to the Non-Owner Assignee and agrees that Owner shall be released from subsequently performing the assigned obligations and from any liability that results from the Non-Owner Assignee's failure to perform the assigned obligations. If the City fails or refuses to approve the Non-Owner Assignee, the assignment shall nevertheless be effective; however, the Owner shall continue to be responsible, jointly and severally, with the Non-Owner Assignee for the performance of all obligations assigned. No assignment by Owner shall release Owner from any liability resulting from an act or omission by Owner that occurred prior to the effective date of the assignment unless the City approves the release in writing. Owner shall maintain written records of all assignments made by Owner to Non-Owner Assignees, including a copy of each executed assignment and the Non-Owner Assignee's Notice information as required by this Agreement, and, upon written request from any Party or Non-Owner Assignee, shall provide a copy of such records to the requesting person or entity.

(c) By the City. The City shall not assign this Agreement, in whole or in part, and including any obligation, right, title, or interest of the City under this Agreement, to any person, entity, or political subdivision without the prior written approval of Owner, which approval shall not be unreasonably withheld or delayed.

8.03 Encumbrance by Owner and Assignees. Owner and Assignees have the right, from time to time, to collaterally assign, pledge, grant a lien or security interest in, or otherwise encumber any of their respective rights, title, or interest under this Agreement for the benefit of their respective lenders without the consent of, but with prompt written Notice to, the City. The collateral assignment, pledge, grant of lien or security interest, or other encumbrance shall not, however, obligate any Lender to perform any obligations or incur any liability under this Agreement: (a) unless the Lender agrees in writing to perform such obligations or incur such liability; or (b) unless the Lender becomes an Assignee pursuant to this Section 8.03. A Lender becomes an Assignee with respect to any portion of the Property only when: (a) the Lender holds fee simple title to such portion of the Property for more than one (1) year; or (b) holds fee simple title to such portion of the Property and takes any action to develop such portion of the Property (excluding action ordinarily and customarily taken by lenders to protect the value of unimproved land and to prepare such unimproved land for sale to prospective purchasers). Notwithstanding the foregoing, however, this Agreement shall continue to bind the Property and shall survive any transfer, conveyance, or assignment occasioned by the exercise of foreclosure or other rights by a Lender, whether judicial or non-judicial. Any purchaser from or successor owner through a Lender of any portion of the Property shall be bound by this Agreement and shall not be entitled to the rights and benefits of this Agreement with respect to the acquired portion of the Property until all defaults under this Agreement with respect to the acquired portion of the Property have been cured.

8.04 Recordation and Applicability to Lot Owners. Pursuant to the requirements of Section 212.172(c) of the Local Government Code, Owner shall record a memorandum of this Agreement, and all amendments to this Agreement, in the Real Property Records of Parker County, Texas, and shall provide

a file-marked copy of the recorded Agreement to the Planning and Development Director within ten (10) days after its execution. This Agreement shall be binding upon the Property, the City, Owner, any Lender that has become an Assignee, and any other Assignee, and their respective successors and assigns. The Parties agree that this Agreement benefits and burdens the Property and touches and concerns the Property. The rights and obligations under this Agreement are intended to be covenants running with the Property. Notwithstanding the foregoing, this Agreement is not binding upon, and shall not constitute any encumbrance to title as to any lot owner except each lot owner is bound by Article II during the term of this Agreement.

8.05 No Waiver. Any failure by a Party to insist upon strict performance by the other Party of any material provision of this Agreement shall not be deemed a waiver thereof, and the Party shall have the right at any time thereafter to insist upon strict performance of any and all provisions of this Agreement. No provision of this Agreement may be waived except by writing signed by the Party waiving such provision. Any waiver shall be limited to the specific purposes for which it is given. No waiver by any Party hereto of any term or condition of this Agreement shall be deemed or construed to be a waiver of any other term or condition or subsequent waiver of the same term or condition.

8.06 Reservation of Rights and Claims. This Agreement constitutes a "permit" as defined in Chapter 245, Texas Local Government Code, as amended, that is deemed filed with the City on the Effective Date. Except as expressly provided in this Agreement, Owner does not, by entering into this Agreement, waive any rights arising under Chapter 245, as amended, under Chapter 43 of the Local Government Code, as amended, or under any other provision of law.

8.07 Governing Law and Venue. THIS AGREEMENT MUST BE CONSTRUED AND ENFORCED IN ACCORDANCE WITH THE LAWS OF THE STATE OF TEXAS, AS THEY APPLY TO CONTRACTS PERFORMED WITHIN THE STATE OF TEXAS AND WITHOUT REGARD TO ANY CHOICE OF LAW RULES OR PRINCIPLES TO THE CONTRARY. THE PARTIES ACKNOWLEDGE THAT THIS AGREEMENT IS PERFORMABLE IN PARKER COUNTY, TEXAS, AND HEREBY SUBMIT TO THE JURISDICTION OF THE COURTS OF PARKER COUNTY, TEXAS, AND HEREBY AGREE THAT ANY SUCH COURT SHALL BE A PROPER FORUM FOR THE DETERMINATION OF ANY DISPUTE ARISING HEREUNDER.

8.08 Performance Requirements; Force Majeure. Time is of the essence in the performance by the Parties of their respective obligations under this Agreement. Whenever performance is required, the Party must use good faith and due diligence to perform and take all necessary measures to perform, but if completion of performance is delayed by reason of acts of God, civil commotion, terrorism, strikes, picketing, casualty, or other similar matter beyond the reasonable control of the Party, then the time for performance will be appropriately extended by the amount of delay so caused, and the Party so delayed shall resume full performance at the earliest possible time.

8.09 Severability. The provisions of this Agreement are severable and, in the event any word, phrase, clause, sentence, paragraph, section, or other provision of this Agreement, or the application thereof to any person or circumstance, shall ever be held or determined to be invalid, illegal, or unenforceable for any reason, and the extent of such invalidity or unenforceability does not cause substantial deviation from the underlying intent of the Parties as expressed in this Agreement, then such provision shall be deemed severed from this Agreement with respect to such person, entity, or circumstance, without invalidating the remainder of this Agreement or the application of such provision to other persons, entities, or circumstances, and a new provision shall be deemed substituted in lieu of the provision so severed which new provision shall, to the extent possible, accomplish the intent of the Parties evidenced by the provision so severed.

8.10 Changes in State or Federal Laws. If any state or federal law changes so as to make it impossible for a Party to perform its obligations under this Agreement, the Parties will cooperate to amend this Agreement in such a manner that is most consistent with the original intent of this Agreement as legally possible.

8.11 Additional Documents and Acts. The Parties agree that at any time after execution of this Agreement, they will, upon request of the other Party, execute and/or exchange any other documents necessary to effectuate the terms of this Agreement and perform any further acts or things as the other Party may reasonably request to effectuate the terms of this Agreement.

8.12 Captions. Captions and headings used in this Agreement are for reference purposes only and shall not be deemed a part of this Agreement.

8.13 Amendment. This Agreement may be amended only with the approval of the City Council and the written consent of Owner. Consent of any homeowners' association or property owners association shall not be required for amendment of this Agreement.

8.14 Interpretation. The Parties acknowledge that each Party and, if it so chooses, its counsel, have reviewed and revised this Agreement and that the normal rule of construction to the effect that any ambiguities are to be resolved against the drafting party shall not be employed in the interpretation of this Agreement or any amendments or exhibits hereto. As used in this Agreement, the term "including" means "including without limitation" and the term "days" means calendar days, not business days. Wherever required by the context, the singular shall include the plural, and the plural shall include the singular. Each defined term herein may be used in its singular or plural form whether or not so defined.

8.15 No Third-Party Beneficiaries. This Agreement is solely for the benefit of the City and Owner, and neither the City nor Owner intends by any provision of this Agreement to create any rights in any third-party beneficiaries or to confer any benefit or enforceable rights under this Agreement or otherwise upon anyone other than the City and Owner.

8.16 Authority to Execute. The City warrants that this Agreement has been approved by the City Council in accordance with all applicable public meeting and public notice requirements (including, but not limited to, notices required by the Texas Open Meetings Act) and that the individual executing this Agreement on behalf of the City has been authorized to do so. Owner warrants that the execution of this Agreement is duly authorized in conformity with the articles of incorporation, bylaws, partnership agreement, or other applicable organizational documents of Owner and that the individual executing this Agreement on behalf of Owner has been authorized to do so.

8.17 Recitals. The recitals contained in this Agreement: (a) are true and correct as of the Effective Date; (b) contribute to the basis upon which the Parties negotiated and entered into this Agreement; and (c) reflect the final intent of the Parties as stated therein. In the event it becomes necessary to interpret any provision of this Agreement, the intent of the Parties, as evidenced by the recitals, shall be taken into consideration and, to the maximum extent possible, given full effect. The Parties have relied upon the recitals as part of the consideration for entering into this Agreement and, but for the intent of the Parties reflected by the recitals, would not have entered into this Agreement.

8.18 Exhibits. All exhibits attached to this Agreement are incorporated as part of this Agreement for the purposes set forth herein, as follows:

Exhibit A	Map of the Property and the Outparcels
Exhibit B	Legal description of the Property
Exhibit C	Assignment and Assumption Agreement
Exhibit D	Proposed Plat
Exhibit E	Sanitary Sewer Investigation

8.19 Takings Impact Assessment. Owner expressly and unconditionally waives and releases the City from any obligation to perform a takings impact assessment under the Texas Private Real Property Rights Act, Texas Government Code Chapter 2007, as it may apply to this Agreement or the Property. This waiver is limited to this Agreement and does not apply to future action of the City with regard to this Property that may require a takings impact assessment under Section 2007.043 of the Texas Government Code.

8.20 Conspicuous Provisions. The Parties acknowledge that the provisions of this Agreement set out in **bold, CAPITALS** (or any combination thereof) satisfy the requirements for the express negligence rule and/or are conspicuous.

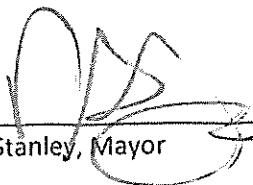
8.21 Counterpart Originals. This Agreement may be executed in counterparts, each of which shall be deemed to be an original.

8.22 Authority for Agreement. This Agreement is entered into pursuant to and governed by Section 212.171, et seq. of the Texas Local Government

8.23 Effective Date. Effective Date means the effective date of this Agreement, which shall be the date on which all of the following events have occurred: (i) the City Council has approved this Agreement; (ii) all Parties have fully executed this Agreement; and (iii) Owner has taken title to the Property and the Outparcels and provided recorded deeds for the Property and the Outparcels to the City. If all of these events do not occur on or before March 31, 2025, this Agreement shall be of no force and effect.

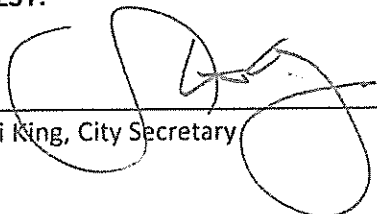
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CITY OF ALEDO

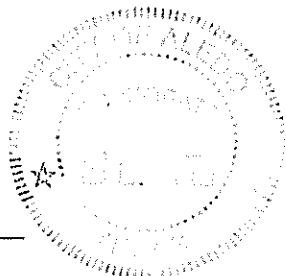


Nick Stanley, Mayor

ATTEST:



Staci King, City Secretary



STATE OF TEXAS §
 §
COUNTY OF PARKER §

This instrument was acknowledged before me on the 18 day of March, 2025, by Nick Stanley, Mayor of the City of Aledo, Texas, on behalf of said City.



Notary Public, State of Texas



Printed Name: Misti L. Hyatt
My Commission Expires: 2/6/29

ORDINANCE NO. 2026-O-15

AN ORDINANCE OF THE CITY OF ALEDO, TEXAS, AMENDING ORDINANCE NO. 2023-198, CHAPTER 66 UNIFIED DEVELOPMENT CODE FOR ZONING AND SUBDIVISION REGULATIONS, AS AMENDED BY REZONING CERTAIN PROPERTY APPROXIMATELY 5.231 ACRES OF MID-PARK BUSINESS COMMUNITY, LOTS 2R1, 2R2, 2R3, 2R4, AND 2R5, WITHIN THE CITY LIMITS OF THE CITY OF ALEDO FROM A TEMPORARY ZONING DESIGNATION OF AGRICULTURAL (AG) TO REGIONAL COMMERCIAL (C-3); REVISING THE OFFICIAL ZONING MAP TO REFLECT SUCH CHANGES; PROVIDING THAT THIS ORDINANCE SHALL BE CUMULATIVE OF ALL ORDINANCES; PROVIDING A SAVING CLAUSE; PROVIDING A PENALTY FOR VIOLATIONS; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR PUBLICATION IN THE OFFICIAL NEWSPAPER; AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City of Aledo, Texas (the “City”) is home rule city acting under its charter adopted by the electorate pursuant to Article XI, Section 5, of the Texas Constitution and Chapter 9 of the Local Government Code; and

WHEREAS, pursuant to Chapter 211 of the Local Government Code, the City previously adopted a “Uniform Development Code” governing and regulating the subdivision and zoning of property located within the City for the purpose of promoting the public health, safety, morals, and general welfare; and

WHEREAS, the City and Property Owner, Moncrief Properties, LLC, have entered into a development agreement dated March 27, 2025; and

WHEREAS, the City has annexed the subject properties into the City corporate limits on June 5, 2025; and

WHEREAS, the Planning and Zoning Commission of the City conducted a public hearing on March 12, 2026, and the City Council conducted a public hearing on April 2, 2026, with respect to the zoning change referenced above and described herein; and

WHEREAS, the City Council has determined that the Regional Commercial (C-3), is the most appropriate zoning district to facilitate the development of this property, and finds that the zoning change, is in conformance with the purposes established in Section 14 of Ordinance No. 2023-198 and does hereby deem it advisable and in the public interest to amend the zoning of the property as described herein; and

WHEREAS, all requirements of law dealing with notice, publication, and all procedural requirements have been complied with in accordance with the Unified Development Code and Chapter 211 of the Local Government Code; and

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ALEDO, TEXAS, THAT:

SECTION 1.

The City of Aledo’s Zoning Ordinance, the Unified Development Code, as amended, is hereby amended so that the zoning classification and the uses in the following described area shall be changed as follows:

The Property more particularly described as Lot 2R1, 2R2, 2R3, 2R4 and 2R5, Mid-Park Business Community, 5.231 acres is hereby zoned Regional Commercial (C-3)

SECTION 2.

The City of Aledo is hereby directed to amend the official zoning map to reflect the change in classification approved herein.

SECTION 3.

CUMULATIVE CLAUSE

This Ordinance shall be cumulative of all provisions of ordinances and of the Aledo Municipal Code, as amended, except where the provisions of this Ordinance are in direct conflict with the provisions of such ordinances and such Code, in which event the conflicting provisions of such ordinances and such Code are hereby repealed.

SECTION 4.

PENALTY CLAUSE

Any person, firm, or corporation who violates, disobeys, omits, neglects, or refuses to comply with or who resists the enforcement of any of the provisions of this Ordinance shall be fined as provided in Section 1-10 of the Aledo Municipal Code for each offense. Each day any such violation or violations exist shall constitute a separate offense and shall be punishable as such.

SECTION 5.

SAVINGS CLAUSE

All rights and remedies of the City are expressly saved as to any and all violations of the provisions of the City Zoning Ordinance, the Unified Development Code that have accrued at the time of the effective date of this Ordinance; and, as to such accrued violations and all pending litigation, both civil and criminal, whether pending in court or not, under such ordinances, same shall not be affected by this Ordinance, but may be prosecuted until final disposition by the courts.

SECTION 6.

SEVERABILITY CLAUSE

It is hereby declared to be the intention of the City Council that the phrases, clauses, sentences, paragraphs, and sections of this Ordinance are severable, and if any phrase, clause sentence, paragraph, or section of this Ordinance shall be declared unconstitutional by the valid judgment or decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs, and sections of this Ordinance, since the same would have been enacted by the City Council without the incorporation in this Ordinance of any such unconstitutional phrase, clause, sentence, paragraph, or section.

SECTION 7.

PUBLICATION CLAUSE

The City Secretary of the City is hereby directed to public at least once in the official newspaper of the City of Aledo, the caption, penalty, and effective date clause of this Ordinance in accordance with Section 3.15 of the City Charter.

**SECTION 8.
EFFECTIVE DATE**

This Ordinance shall be in full force and effect from and after its passage, and it is so ordained.

PASSED AND APPROVED ON this 2nd day of April, 2026.

Shane Davis, Mayor

ATTEST:

Staci L. King, City Secretary

APPROVED AS TO FORM AND LEGALITY:

Alicia K. Kreh, City Attorney



Date: April 2, 2026
To: City Council
From: Erika Cooper-Bateman, Director of Community Services
Subject: **PUBLIC HEARING:** Consider Ordinance No. 2026-O-16 amending the FY 2025-2026 Municipal Fee Schedule to include revised Community Center Fees

Summary:

Staff conducted a comprehensive review of rental policies, fee structures, and capacity for comparable community facilities in Hurst, Lake Worth, Watauga, Roanoke, and River Oaks. For facilities with multiple rooms, staff selected spaces that most closely matched the Aledo Community Center occupancy to ensure an accurate comparison.

The review found that most peer facilities have clearly defined usage guidelines and require a refundable deposit, averaging approximately \$250, to cover potential damages. A few facilities require onsite staff or security, with associated costs passed on to the renter. Additionally, some cities limit rentals to residents only or restrict the number of rentals per day.

Many peer communities utilize flat half-day or full-day rental rates, lower hourly minimums, and several apply peak-day pricing models for weekends or high-demand days. For facilities with kitchen amenities, kitchen access is generally included in the rental fee rather than charged as an additional cost. The average hourly cost ranges are as follows:

Residential/Non-profit Fee: \$20-\$85 per hour

Non-Resident Fee: \$60-\$125 per hour

Historical revenue data shows that Aledo Community Center rental revenue fluctuated over time with a drastic decrease in FY24-25, which reflects when the community center rental rate was adjusted. See below:

FY 2021/2022: \$25,000

FY 2022/2023: \$23,500

FY 2023/2024: \$27,789

FY 2024/2025: \$ 7,340

FY 2025/2026 (YTD): \$3,450

Based on this analysis, staff determined that Aledo's current hourly rental rate structure is comparatively high, particularly due to the increased cost incurred when renters add hours beyond the four-hour minimum. Among the cities reviewed, the Hurst Community Center emerged as the most comparable in terms of facility size, layout, and overall condition.

As a result, staff developed a recommended fee update that incorporates key elements of the Hurst pricing model, while still accounting for Aledo's operational needs, staffing structure, desired level of community use, and overall accessibility. Staff recommends transitioning to a half-day and full-day rental model to simplify pricing.

The current and recommended rental rates are attached.

Recommendation:

Staff recommends approving Ordinance No. 2026-O-16 that amends the FY 2025-2026 Municipal Fee Schedule to include revised Community Center Fees.

Attachments:

1. Ord. No. 2026-O-16 2025 Amend Fee Schedule - Community Center
2. Community Center Fees (Current & Updated)

ORDINANCE NO. 2026-O-16

AN ORDINANCE OF THE CITY OF ALEDO, TEXAS, AMENDING ORDINANCE C-2012-010, SCHEDULE OF THE RATES, FEES, AND CHARGES OF THE CITY OF ALEDO, TEXAS; REPEALING CONFLICTING ORDINANCES; PROVIDING THAT THIS ORDINANCE BE CUMULATIVE OF ALL OTHER ORDINANCES; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City of Aledo, Texas (“City”) is a home rule city acting under its charter adopted by the electorate pursuant to Article XI, Section 5, of the Texas Constitution and Chapter 9 of the Local Government Code; and

WHEREAS, it is the intention of the City Council to exercise the authority vested in the City Council concerning the regulation of the rates, fees, and charges of the City; and

WHEREAS, the City Council has determined it is necessary that the current schedule of the rates, fees, and charges of the City be updated to reflect the cost of services provided by the City.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ALEDO, TEXAS, THAT:

SECTION 1

The Schedule of Rates, Fees, and Charges shall be amended with the attached Exhibit “A.” These rates, fees, and charges shall go into effect after the passage of this Ordinance, or later if so indicated in the schedule.

SECTION 2

This Ordinance shall be cumulative of all provisions of ordinances of the City of Aledo, Texas, except where the provisions of this Ordinance are in direct conflict with the provisions of such ordinances, in which event the conflicting provisions of such ordinances are hereby repealed.

SECTION 3

It is hereby declared to be the intention of the City Council that the phrases, clauses, sentences, paragraphs, and sections of this Ordinance are severable, and if any phrase, clause, sentence, paragraph, or section of this Ordinance shall be declared unconstitutional by the valid judgment or decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs, and sections of this Ordinance, since the same would have been enacted by the City Council without the incorporation in this Ordinance of any such unconstitutional phrase, clause, sentence, paragraph, or section.

SECTION 4

This Ordinance shall be in full force and effect from and after its passage, and it is so ordained.

PASSED AND APPROVED this 4th day of September, 2025.

Shane Davis, Mayor

ATTEST:

Staci L. King, City Secretary

APPROVED AS TO FORM AND LEGALITY:

Alicia K. Kreh, City Attorney

CURRENT ALEDO COMMUNITY CENTER FEES

CORPORATE/CELEBRATION RENTALS					
	Residential Rental Fee	Non-Resident Rental Fee	Damage Deposit	Cleaning Fee	Additional Hourly Rate
Monday- Thursday	\$200	\$400	\$250	\$150	\$100
Friday/Sunday	\$300	\$500	\$250	\$150	\$200
Saturday	\$500	\$700	\$250	\$150	\$300
NON-PROFIT RENTALS					
Monday- Thursday	\$100	\$200	\$250	\$150	\$50
Friday/Sunday	\$150	\$250	\$250	\$150	\$100
Saturday	\$250	\$350	\$250	\$150	\$150
OPTIONAL ADD-ON: KITCHEN					
Monday- Thursday	\$50	\$100	\$100	\$150	\$25
Friday/Sunday	\$75	\$150	\$100	\$150	\$100
Saturday	\$125	\$250	\$100	\$150	\$150

RECOMMENDED ALEDO COMMUNITY CENTER FEES

RESIDENT RENTAL FEE				
	Half Day (5 hours)	Full Day (10 hours)	Damage Deposit	Cleaning Fee
Monday- Thursday	\$200	\$400	\$250	\$100
Friday/Saturday	\$300	\$600	\$250	\$100
Sunday	\$250	\$500	\$250	\$100
NON-RESIDENT RENTAL FEE				
Monday- Thursday	\$225	\$550	\$250	\$100
Friday/Saturday	\$375	\$750	\$250	\$100
Sunday	\$325	\$650	\$250	\$100
OPPTIONAL AD-ON				
TV Rental	\$25			
<i>*Non-profits receive 20% off the resident rental rate.</i>				



Date: April 2, 2026
To: City Council
From: Travis Askins, Public Works Director
Subject: Consider awarding contract for the Green Ribbon median landscape improvements project to Central North Construction in the amount of \$714,970.75

Summary:

The City of Aledo entered into a contract with TxDot on April 25, 2019 to maintain the landscaping for Fm1187. The Green Ribbon Landscape Project is a part of that agreement. The total cost that was provided to the City for the project is \$733,204.80 which 80% is covered by Federal Funds, and 20% Local.

The project went out for construction bidding on July 19, 2025 and was advertised for 21 days which is required by TxDot, closing on Aug 9, 2025. City of Aledo received 3 bids and they were opened and scored according to TxDot requirements on Aug 12, 2025 at 10am. After the bids were scored the lowest bidder had failed to meet TxDot requirements so the next lowest bidder was Central North Construction.

Recommendation:

After opening bids and in accordance to TxDot requirements, Staff recommends awarding Central North Construction a contract for Construction Services for the Green Ribbon Project.

Attachments:

None



September 15, 2025

Travis Askins
Director of Public Works, City of Aledo
104 Maverick St
Aledo, TX 76008

RE: 0008-09-040 Aledo FM 1187 Landscape Improvements – Award Recommendation

Dear Mr. Askins,

The bids for the FM 1187 Landscape Improvements project for the City of Aledo were publicly opened on August 12, 2025 at 10:00 am. There were a total of three bids received. A summary of the bids is provided below.

	Bidder	BASE BID
1	Apex Landscape & Irrigation <i>Submitted: 8/12/2025 9:16:06 AM</i>	\$680,610.85
2	Central North Construction ,LLC <i>Submitted: 8/12/2025 9:34:18 AM</i>	\$714,970.75
3	Green Scaping <i>Submitted: 8/12/2025 9:01:37 AM</i>	\$745,363.40

The Engineer’s opinion of probable cost was \$733,204.80. The lowest bid was submitted by Apex Landscape & Irrigation with a bid of \$680,610.85.

Per Item 2L, Section 6 of the project manual, all bidders must meet specific requirements to be considered responsive. One of these requirements is the submission of a State of Texas Child Support Business Ownership Form. Apex Landscape & Irrigation did not provide this form, rendering their bid non-responsive.

The second lowest bidder, Central North Construction, LLC, submitted all required documents, and their bid of \$714,970.75 came in under the Engineer’s estimate.

Based on bid evaluation and compliance with project requirements, we recommend awarding the FM 1187 Landscape Improvements project to the lowest responsive bidder, Central North Construction, LLC, in the amount of \$714,970.75.

Sincerely,

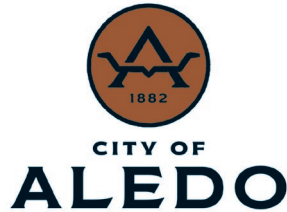
GRAHAM ASSOCIATES, INC.
TBPE Firm #F-1191

Josh Steiger, P.E.

City of Aledo FM 1187 Landscape Improvements

ID: PW 2025-001

Item	Description	Unit	Quantity	Apex Landscape & Irrigation	Total	Central North Construction	Total	Green Scaping	Total
Base Bid									
FM 1187 Landscape Improvements									
100 7002	Preparing ROW	STA	35.00	\$750.00	\$26,250.00	\$2,500.00	\$87,500.00	\$3,800.00	\$133,000.00
104 7005	Removing Concrete (Mow Strip)	LF	1,108.00	\$8.00	\$8,864.00	\$4.00	\$4,432.00	\$4.00	\$4,432.00
170 7001	Irrigation System	LS	1.00	\$65,000.00	\$65,000.00	\$180,000.00	\$180,000.00	\$206,000.00	\$206,000.00
192 7028	Landscape Planting (3 Gal.)	EA	8,660.00	\$36.50	\$316,090.00	\$18.00	\$155,880.00	\$10.00	\$86,600.00
192 7029	Landscape Planting (5 Gal.)	EA	664.00	\$34.65	\$23,007.60	\$28.00	\$18,592.00	\$12.00	\$7,968.00
192 7001	Mulch	CY	327.00	\$40.00	\$13,080.00	\$30.00	\$9,810.00	\$38.00	\$12,426.00
192 7021	Concrete Landscape Edge	LF	2,999.00	\$24.50	\$73,475.50	\$42.00	\$125,958.00	\$28.00	\$83,972.00
193-7001	Plant Maintenance	MO	12.00	\$2,800.00	\$33,600.00	\$2,000.00	\$24,000.00	\$1,200.00	\$14,400.00
193 7007	Irrigation System Oper. And Maintenance	MO	12.00	\$1,000.00	\$12,000.00	\$950.00	\$11,400.00	\$1,100.00	\$13,200.00
500 7001	Mobilization	LS	1.00	\$43,000.00	\$43,000.00	\$34,000.00	\$34,000.00	\$36,000.00	\$36,000.00
502 7001	Barricades, Signs, and Traffic Handling	MO	7.00	\$2,800.00	\$19,600.00	\$2,850.00	\$19,950.00	\$3,570.00	\$24,990.00
505 7001	Truck-Mounted Attenuator (Stationary)	DAY	60.00	\$1.00	\$60.00	\$50.00	\$3,000.00	\$520.00	\$31,200.00
506 7043	Biodegradable Erosion Control Logs (Install) (8")	LS	1,115.00	\$2.50	\$2,787.50	\$0.15	\$167.25	\$9.60	\$10,704.00
506 7046	Biodegradable Erosion Control Logs (Remove) (8")	LS	1,115.00	\$0.25	\$278.75	\$0.10	\$111.50	\$3.00	\$3,345.00
2003-7001	Decomposed Granite	SY	2,678.00	\$16.25	\$43,517.50	\$15.00	\$40,170.00	\$28.80	\$77,126.40
Sub Totals					\$680,610.85		\$714,970.75		\$745,363.40
Grand Total					\$680,610.85		\$714,970.75		\$745,363.40



September 15, 2025

Mr. Douglas Bates, PMP
1427 West Bankhead Hwy
Weatherford, TX, 76086

RE: 0008-09-040 Aledo FM 1187 Landscape Improvements – Award Recommendation

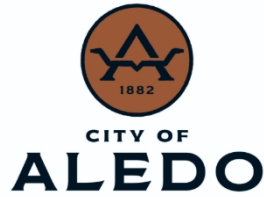
Dear Mr. Bates

The City of Aledo is in agreement with the recommendation letter prepared by Graham Associates dated 9/13/2025. Based on bid evaluation and compliance with project requirements, we recommend awarding the FM 1187 Landscape Improvements project to the lowest responsive bidder, Central North Construction, LLC, in the amount of \$714,970.75.

Please let me know if there is anything else I may need to provide concerning this project.

Sincerely,

Travis Askins
Director of Public Works



Date: April 2, 2026
To: City Council
From: Candice Edmondson, City Manager
Subject: Consider Project Order Number 2026-01 with Kimley-Horn and Associates, Inc. to provide professional construction phase services for the Green Ribbon Landscape Improvements Project in the amount of \$107,000

Summary:

The City is preparing to award a construction contract for the FM 1187 Green Ribbon Landscape Improvements Project and will require professional services to support project administration, coordination, and compliance during the construction phase.

Kimley-Horn has submitted a proposal to provide construction phase services in accordance with the City's existing Master Agreement for Continuing Professional Services. These services are intended to assist the City with project oversight, documentation, and coordination with the contractor and TxDOT throughout construction.

Key services include:

- Attendance at preconstruction and construction progress meetings and preparation of meeting documentation;
- Assistance with TxDOT reimbursement documentation and compliance reporting;
- Preparation of project documentation, including Notice to Proceed and contract time statements;
- Review of materials, certifications, and contractor submittals;
- Coordination with the City, contractor, and TxDOT to support project progress; and
- Assistance with project closeout, including final inspection and acceptance documentation.

Kimley-Horn will also provide limited site visits and support documentation efforts during construction, while the City will continue to perform primary site inspections and field coordination.

Funding Considerations:

The proposed services are provided on an hourly basis with a not-to-exceed fee of \$107,000. The FY 2026 Strategic Initiatives Fund Budget provides funding for the Green Ribbon project in the amount of \$320,000.

Recommendation:

Staff recommends City Council approve Project Order Number 2026-01 with Kimley-Horn and Associates, Inc. to provide professional construction phase services for the Green Ribbon Landscape Improvements Project in the amount of \$107,000.

Attachments:

1. IPO#1_Aledo FM 1187 Landscape Improvements



INDIVIDUAL PROJECT ORDER NUMBER 2026-01

Describing a specific agreement between Kimley-Horn and Associates, Inc. (“Kimley-Horn” or “Consultant”), and the City of Aledo (“Client”) in accordance with the terms of the Master Agreement for Continuing Professional Services dated March 27, 2025, which is incorporated herein by reference.

Identification of Project: FM 1187 Landscape Improvements CCA

Project Background and Understanding: This project consists of providing professional services to assist the City with LGP Construction Phase Services.

Scope of Services:

The Scope of Services is provided below.

As part of this task, the following subtasks will be performed:

- 1.1 *Meetings.* Consultant will attend one (1) preconstruction meetings and three (3) construction progress meetings with the City and the Contractor to review the status of the construction and coordinate upcoming work or any outstanding items. Consultant will prepare meeting agenda and meeting notes for the four (4) meetings listed above to distribute to the project team.
- 1.2 *Request for Reimbursement Support.* Consultant will assist the City with compiling and reviewing the following monthly documentation, as needed, for TxDOT submission. This scope assumes seven (7) each of the following documents will be required for submission:
 - 1.2.1 Billing Statement/Pay Records
 - 1.2.2 Project Worksheet
 - 1.2.3 Proof of Payment to Contractor
 - 1.2.4 Supporting Documentation (Baseline Schedule, Quantity Measurement and Calculations)
 - 1.2.5 Form 1391 – Annual EEO Report
 - 1.2.6 Subcontractor Log and Forms
 - 1.2.7 Buy American Documents (Form 2806)
- 1.3 *Notice to Proceed.* Consultant will prepare one (1) Notice to Proceed document and issue to Contractor.
- 1.4 *Contract Time Statement.* Consultant will prepare a Contract Time Statement (TxDOT Form 252 or LG equivalent) monthly for TxDOT submission. This scope assumes seven (7) contract time statements.
- 1.5 *Bulletin Board Checklist.* Consultant will review the Bulletin Board installed by the Contractor for contract conformance and will assist the City with preparing checklist for TxDOT submission.
- 1.6 *Material Sourcing and Testing.* Consultant will review all mix designs, material tickets, mill tests, and confirm submission to TxDOT for approval. Consultant will coordinate with Contractor on certifications and submittals to TxDOT.
- 1.7 *Change Orders.* Consultant may recommend Change Orders to the City and will review and make recommendations related to Change Orders submitted or proposed by the Contractor. Consultant will coordinate change order review to arrange for the appropriate parties to receive the submitted information from the Contractor, reviewers to respond in the required time, any questions are addressed, and all submitted items are properly documented. This scope assumes up to two (2) change orders during construction.

- 1.8 *Storm Water Prevention Plan (SWPPP) and Barricade Observation Walkthrough.* Consultant will assist the City in completing SWPPP forms (Form 2118) and Barricade form (Form 599) during the construction phase of the project.
- 1.9 *Contractor Labor Interviews.* Consultant will assist the City with preparation of -TxDOT Form 2200. This scope includes seven (7) form completion. One (1) interview per month of construction. The City will handle the in-person interview and provide information to the Consultant.
- 1.10 *Daily Project Diaries.* Consultant will assist the City with fifty (50) daily project diaries. The City will handle the site visits and provide the information for the Consultant to complete the form.
- 1.11 *Site Visits.* Consultant will assist the City with site visits up to seven (7) times during the construction phase. During these site visits, the Consultant will assist with observing the status of the SWPPP measures, Barricades, and Contractor Labor Interviews.
- 1.12 *City, Contractor, and TxDOT Coordination.* Consultant will coordinate with City staff, the Contractor, and TxDOT on an as-needed basis regarding project documentation, the project schedule, and known project issues. The purpose of this coordination will be to facilitate communication and resolution of outstanding items to promote progress of the project during construction.
- 1.13 *Final Notice of Acceptability of the Work.* Consultant will coordinate a one (1) final site visit to determine if the completed work of Contractor is generally in accordance with the Contract Documents and the final punch list so that Consultant may recommend, in writing, final payment to Contractor. This scope includes one (1) final completion walk through and preparation of one (1) final completion letter. Consultant will review the as-built drawings provided from the contractor one (1) time for final acceptance.
- 1.14 *Limitation of Responsibilities.* Consultant shall have no responsibility for any contractor's means, methods, techniques, equipment choice and usage, equipment maintenance and inspection, sequence, schedule, safety programs, or safety practices, nor shall Consultant have any authority or responsibility to stop or direct the work of any contractor. Consultant's visits will be for the purpose of endeavoring to provide the Client a greater degree of confidence that the completed work of its contractors will generally conform to the construction documents prepared by Consultant. Consultant neither guarantees the performance of contractors, nor assumes responsibility for any contractor's failure to perform its work in accordance with the contract documents.

Consultant is not responsible for any duties assigned to it in the construction contract that are not expressly provided for in this Agreement. The Client agrees that each contract with any contractor shall state that the contractor shall be solely responsible for job site safety and its means and methods; that the contractor shall indemnify the Client and Consultant for all claims and liability arising out of job site accidents; and that the Client and Consultant shall be made additional insureds under the contractor's general liability insurance policy.

The Consultant anticipates approximately 350 hours of effort throughout the course of the construction of the project. The effort will include analyst, Senior Professional I, and Senior Professional II.

Services Not Included:

Any other service not listed, including but not limited to the following, are not included in this contract

amendment.

- Materials testing will be provided by the construction contractor.
- Materials testing coordination will be provided by the construction contractor.
- Specialized testing/ inspection.

Additional Services if required:

Services not specifically identified in the Scope of Services above shall be considered Additional Services and shall be performed on an individual basis upon authorization by the City. Compensation for additional services will be agreed to prior to their performance. Such services shall include, but are not limited to, the following:

- Attending parks board meetings
- Attending city council meetings
- Presenting at parks board meetings and/ or city council meetings
- 3D renderings, perspectives, bird- eye view renderings
- Franchise utility coordination
- Traffic impact studies or signal design
- Preparation of traffic control plans
- Revisions due to changes in regulations
- Archaeological survey
- Submittal, permitting fees, or impact fees
- Separate engineering site development review process sets and submittals
- Off-site utility design
- Off-site roadway design
- Off- site easement descriptions
- Contractor type detailed estimates (as prepared by estimating service)
- Record drawing survey and record drawings
- Preparation of preliminary or final plat
- Environmental impact statement
- Storm drainage studies and detention/ retention pond design
- Signage design of any kind or nature
- Site visits outside the scope of services
- Labor interviews with Contractor
- Daily inspections of Traffic Control, Barricades, SW3P

Services provided by Client:

The Client shall provide the Consultant with information and approved documents related to the landscape improvements project. The Consultant shall be entitled to rely on the completeness and accuracy of all information provided by the Client. The Client shall coordinate and perform site visits and labor interviews.

Schedule:

Consultant will begin services upon receipt of Notice to Proceed and once Construction commences. Additional services, if desired, will be performed in a timely manner upon authorization by the Client.

Terms of Compensation:

The Consultant will perform the services for the hourly fee not to exceed below. All permitting, application, and similar project fees will be paid directly by the Client.



Task Number & Name		Fee	Type
1	Project Management	\$107,000	Hourly
TOTAL		\$107,000	Hourly

Kimley- Horn will perform the services on a labor fee plus expense basis with the maximum labor fee shown above. Consultant will not exceed the total maximum labor fee shown without authorization from the Client.

Labor fee will be billed on an hourly basis according to our then- current rates. Direct reimbursable expenses such as express delivery services, air travel, and other direct expenses will be billed at 1.15 times cost. A percentage of labor fee will be added to each invoice to cover certain other expenses as to these tasks such as telecommunications, in- house reproduction, postage, supplies, project related computer time, and local mileage. Administrative time related to the project may be billed hourly. All permitting, application, and similar project fees will be paid directly by the Client. Should Client request Consultant to advance any such a project fees on the Client' s behalf, an invoice for such fees, with a fifteen percent (15%) markup, will be immediately issued and paid by the Client.

Payment will be due within 25 days of your receipt of the invoice and should include the invoice number and Kimley- Horn project number.

ACCEPTED:

CITY OF ALEDO

KIMLEY-HORN AND ASSOCIATES, INC.

BY: _____

BY: Douglas Arnold

TITLE: _____

TITLE: Contract Specialist

DATE: _____

DATE: 03/23/2026

Attachment 1 – Standard Rate Schedule

Kimley-Horn and Associates, Inc.

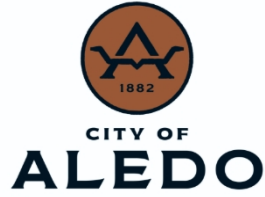
Hourly Labor Rate Schedule

Classification	Rate
Analyst	\$175 - \$260
Professional	\$250 - \$315
Senior Professional I	\$275 - \$380
Senior Professional II	\$370 - \$400
Senior Technical Support	\$165 - \$295
Support Staff	\$115 - \$160
Technical Support	\$130 - \$165

Effective through June 30, 2026.

Subject to adjustment thereafter.

Internal Reimbursable Expenses will be charged at 5% of Labor Billings.



Date: April 2, 2026
To: City Council
From: Carol Riddle, Police Chief
Subject: Police Department Quarterly Report

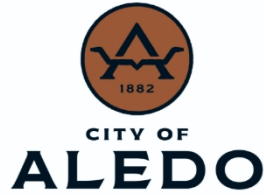
Summary:

The Police Chief will present the Police Department's activity report for the first quarter of 2026. This report will provide an overview of departmental operations, including traffic stop activity, offense reports, and calls for service, offering some insight into trends and enforcement efforts within the city.

Recommendation:

Attachments:

None



Date: April 2, 2026
To: City Council
From: Candice Edmondson, City Manager
Subject: **Executive Session: Section 551.071 – Consultation with Attorney**

Summary:

To conduct a private consultation with the City Attorney on any legally posted agenda item, when the City Council seeks the advice of its attorney about pending or contemplated litigation, a settlement offer, or on a matter in which the duty of the attorney to the governmental body under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with the provisions of Chapter 551, to include:

- i. Dean Ranch Development Conversation
- ii. Grand Prairie v. State
- iii. Aledo and Fort Worth v. Willow Park
- iv. Library Agreement with Parker County

Attachments:

None



Date: April 2, 2026
To: City Council
From: Candice Edmondson, City Manager
Subject: **Executive Session: Section 551.087 – Deliberation Regarding Economic Development Negotiations**

Summary:

The City Council may convene in executive session to discuss or deliberate regarding commercial or financial information that the City has received from a business prospect that the City seeks to have locate, stay, or expand in or near the City and with which the City is conducting economic development negotiations; or to deliberate the offer of a financial or other incentive to a business prospect described above, including the following items:

- i. Dean Ranch Development Conversation
- ii. Downtown Development
- iii. Your Personal Chef Rebate Infrastructure Agreement